

PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD, LISAROW NSW 2250

CIVIL SERVICES

PAVEMENT LEGEND

PAVEMENT TYPE P02A
(REFER GROUP GSA DRAWINGS)

DESIGN FINISHED SURFACE LEVEL

110mm THICK CONCRETE
(f_c = 32MPa) WITH SL82 TOP
(50mm COVER)

COMPACTED ENGINEERED FILL IN
ACCORDANCE WITH CONSTRUCTION
NOTES ON C1.02

PAVEMENT TYPE P02B & P03
(REFER GROUP GSA DRAWINGS)

DESIGN FINISHED SURFACE LEVEL

140mm THICK CONCRETE
(f_c = 32MPa) WITH SL82 TOP
(50mm COVER)

COMPACTED ENGINEERED FILL IN
ACCORDANCE WITH CONSTRUCTION
NOTES ON C1.02

PERMEABLE PAVING

SOIL EROSION AND SEDIMENT CONTROL
LEGEND

SEDIMENT FENCE

FILTER FABRIC DROP INLET PIT. PROVIDE AT
SURFACE STORMWATER PITS

SAND BAG SEDIMENT TRAP

STABILISED CONSTRUCTION EXIT

DIVERSION DRAIN

ROCK CHECK DAM

SEDIMENT BASIN

STOCKPILE

CIVIL LEGEND

PROPOSED STORMWATER LINE

EXISTING STORMWATER LINE

STORMWATER PIT

STORMWATER GRATED DRAIN

ON SITE DETENTION TANK

DWG No.	DESCRIPTION	REVISION
C1.01	COVER SHEET AND LEGENDS	C
C1.02	NOTES	B
C1.05	DETAILS-SHEET 1	A
C1.06	DETAILS-SHEET 2	A
C1.07	DETAILS-SHEET 3	A
C1.08	DETAILS-SHEET 5	A
C1.09	DETAILS-SHEET 6	A
C1.10	DETAILS-SHEET 7	B
C2.01	BULK EARTHWORKS PLAN	B
C3.00	CIVIL WORKS-KEY PLAN	B
C3.01	CIVIL WORKS PLAN-SHEET 1	A
C3.02	CIVIL WORKS PLAN-SHEET 2	A
C3.03	CIVIL WORKS PLAN-SHEET 3	A
C3.04	CIVIL WORKS PLAN-SHEET 4	B
C3.05	CIVIL WORKS PLAN-SHEET 5	B
C3.15	CATCHMENT PLAN	B
C3.20	DRIVEWAY SETOUT PLAN	A
C3.21	DRIVEWAY LONGITUDINAL-SHEET 1	A
C3.22	DRIVEWAY LONGITUDINAL-SHEET 2	B
C3.23	DRIVEWAY LONGITUDINAL-SHEET 3	A
C3.24	DRIVEWAY LONGITUDINAL-SHEET 4	B
C4.01	PAVEMENT PLAN	A
C5.01	SOIL EROSION AND SEDIMENT CONTROL PLAN	B
C7.01	VEHICLE TRACKING ACCESS DRIVEWAY 01	A
C7.02	VEHICLE TRACKING ACCESS DRIVEWAY 02	B



LOCALITY PLAN
NTS

DIAL BEFORE YOU DIG

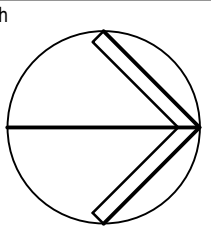
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IMPORTANT: THE CONTRACTOR IS
TO MAINTAIN A CURRENT SET OF
"DIAL BEFORE YOU DIG" DRAWINGS
ON SITE AT ALL TIMES.

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Issue	Description	Date	Drawn	Approved
B	RE-ISSUE FOR DEVELOPMENT APPLICATION	25.08.20	DK	GL
B	RE-ISSUE FOR DEVELOPMENT APPLICATION	29.06.20	ROB	GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL



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Project

**PROPOSED MIXED
INDUSTRIAL DEVELOPMENT**

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title COVER SHEET AND LEGENDS					
Drawn DW	Date May-20	Scale A1	Q.A. Check	Date	
Designed WS	Project No. SY190329	Dwg. No. C1.01	Issue C		

NOT FOR CONSTRUCTION

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GENERAL NOTES

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.
- ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- ALL DIMENSIONS ON DETAILS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL PLANS AND LEVELS ARE EXPRESSED IN METRES.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURAL STABILITY OF THE WORKS AND ENSURE NO PARTS BE OVER STRESSED UNDER CONSTRUCTION ACTIVITIES.
- WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORISATION FOR A VARIATION. ANY VARIATIONS INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT OR PROJECT MANAGER BEFORE THE WORK COMMENCES.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- THE BUILDER SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.
- BUILDING FROM THESE DRAWINGS IS NOT TO COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES
- THE WORD 'ENGINEER' USED IN THESE NOTES REFER TO AN EMPLOYEE OR NOMINATED REPRESENTATIVE OF **ACOR CONSULTANTS PTY.LTD.**
- CAR PARK BAY RESEALING REQUIREMENTS ARE NOTATED ON DRAWINGS C3.02, C3.03, C3.04.

EXISTING SERVICES AND FEATURES

- THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION, REMOVAL AND DISPOSAL IF REQUIRED OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN WRITTEN APPROVAL OF HIS PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
- EXISTING BUILDINGS, EXTERNAL STRUCTURES, AND TREES SHOWN ON THESE DRAWINGS ARE FEATURES EXISTING PRIOR TO ANY DEMOLITION WORKS.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL OF SUPERINTENDENT FOR TIME OF INTERRUPTION.

COMPACTION NOTES

- STRIP TOPSOIL TO EXPOSE NATURALLY OCCURRING MATERIAL AND STOCKPILE ON SITE FOR SELECTIVE RE-USE OR DISPOSE OFF-SITE AS DIRECTED BY THE SUPERINTENDENT.
 - WHERE FILLING IS REQUIRED TO ACHIEVE DESIGN SUBGRADE PROOF ROLL EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) IN THE PRESENCE OF THE SUPERINTENDENT. REFER TO SPECIFICATION FOR DETAILS.
 - ALL SOFT, WET OR UNSUITABLE MATERIAL TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS LISTED BELOW.
 - ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING :
 - FREE FROM ORGANIC, PERISHABLE AND CONTAMINATED MATTER
 - MAXIMUM PARTICLE SIZE 75MM
 - PLASTICITY INDEX BETWEEN 2% AND 15%
 - ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200MM THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS 1289 E3.1 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 E1.1 :
- | LOCATION | STANDARD DRY DENSITY |
|--|----------------------|
| UNDER BUILDING SLABS | 98% |
| AREAS OF SERVICE TRENCHES | 98% |
| EXTERNAL PAVED AREAS, ROADS AND CARPARKS | 98% |
| LANDSCAPED AREAS | 90% |
- THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS. ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR COST.
 - TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

SITeworks NOTES

- ORIGIN OF LEVELS :- AUSTRALIAN HEIGHT DATUM (A.H.D.)
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE PRINCIPAL'S REPRESENTATIVE.
- EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE PRINCIPAL'S REPRESENTATIVE. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER COMMUNICATIONS OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH AN APPROVED NON-NATURAL GRANULAR MATERIAL AND COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS.1289.5.1.1.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ON COMPLETION OF PIPE INSTALLATION ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
- PROVIDE 12mm WIDE EXPANDING CORK JOINTS BETWEEN CONCRETE PAVEMENTS AND ALL BUILDINGS, WALLS, FOOTINGS, COLUMNS, KERBS, DISH DRAINS, GRATED DRAINS, BOLLARD FOOTINGS ETC
- CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS.
- ALL BATTERS TO BE GRASSED LINED WITH MINIMUM 100 TOPSOIL AND APPROVED COUCH LAID AS TURF.
- MAKE SMOOTH TRANSITION TO EXISTING SERVICES AND MAKE GOOD.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MIN 50mm IN BITUMINOUS PAVING.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80 uPVC SEWER GRADE CONDUITS EXTENDING A MIN OF 500mm PAST PAVING.
- ON COMPLETION OF WORKS ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL INCLUDING, BUT NOT LIMITED TO, KERBS, FOOTPATHS, CONCRETE AREAS, GRASS AND LANDSCAPED AREAS.

STORMWATER NOTES

- ALL 225 DIA. DRAINAGE PIPES AND LARGER SHALL BE CLASS "2" APPROVED SPIGOT AND SOCKET FRC OR RCP PIPES WITH RUBBER RING JOINTS. (U.N.O.) ALL DOWNPIPE DRAINAGE LINES SHALL BE SEWER GRADE uPVC WITH SOLVENT WELD JOINTS. (U.N.O.)
- EQUIVALENT STRENGTH REINFORCED CONCRETE PIPES MAY BE USED.
- ALL PIPE JUNCTIONS UP TO AND INCLUDING 450 DIA. AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.
- MINIMUM GRADE TO STORMWATER LINES TO BE 1% (U.N.O.)
- CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- PRECAST PITS SHALL NOT BE USED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE SUPERINTENDENT.
- WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50MM CONCRETE BED (OR 75MM THICK BED OF 12MM BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR ON THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75MM THICK SAND BED. IN ALL CASES BACKFILL THE TRENCH WITH SAND TO 200MM ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150MM LAYERS TO 98% STANDARD MAX. DRY DENSITY.
- BEDDING SHALL BE (U.N.O.) TYPE H1, IN ACCORDANCE WITH CURRENT RELEVANT AUSTRALIAN STANDARDS.
- WHERE STORMWATER LINES PASS UNDER FLOOR SLABS SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
- WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS UNSLOTTED UPVC SEWER GRADE PIPE SHALL BE USED.
- PROVIDE 3.0M LENGTH OF 100 DIA. SUBSOIL DRAINAGE PIPE WRAPPED IN FABRIC SOCK, AT UPSTREAM END OF EACH PIT.

CONCRETE NOTES

GENERAL

- ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH AS 3600 CURRENT EDITIONS WITH AMENDMENTS, AND THE ACSE CONCRETE SPECIFICATION EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- VERIFY ALL SETTING OUT DIMENSIONS WITH THE ARCHITECT AND/OR THE SURVEYOR.
- DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS.
- IN CASE OF DOUBT - ASK.

DESIGN LOADS

- N/A

CONCRETE

- PLACE CONCRETE OF THE FOLLOWING CHARACTERISTIC COMPRESSIVE STRENGTH F'C AS DEFINED IN AS.3600 OR M.R. FORM 609. ADD WATER REDUCING ADMIXTURE EQUAL TO WRDA.

LOCATION	AS.3600 F'c MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
ALL KERB PITS ETC.	25	80	20
VEHICULAR PAVEMENTS	32	80	20

- USE "A.C.S.E. SPECIFICATION TYPE A" CEMENT.

- ALL CONCRETE SHALL BE SUBJECT TO PROJECT CONTROL SAMPLE AND TESTING TO AS.3600.

- CONSOLIDATE BY VIBRATION.

REINFORCEMENT

- FIX REINFORCEMENT AS SHOWN ON DRAWINGS, THE TYPE AND GRADE IS INDICATED BY A SYMBOL AS SHOWN BELOW. ON THE DRAWING N IS FOLLOWED BY A NUMERAL WHICH INDICATES THE SIZE IN MILLIMETRES. A MARK NUMERAL (IF USED) FOLLOWS THIS NUMERAL.
N. HOT ROLLED DEFORMED BAR, GRADE 410Y
S. HOT ROLLED DEFORMED BAR, GRADE 230S
R. PLAIN ROUND BAR, GRADE 230R
SL. HARD DRAWN WIRE FABRIC.
- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING CONCRETE COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.

FOOTINGS

- 75 BOTTOM, 65 TOP AND SIDES SLABS
- 20 TOP AND BOTTOM, 30 WHEN EXPOSED TO WEATHER.

BEAMS

- 50 BOTTOM AND SIDES (TO STIRRIPS) TOP COVER AS DETAILED COLUMNS
- 40 TO TIES AND SPIRALS 50 WHEN EXPOSED TO WEATHER

WALLS

- 25 GENERALLY 30 WHEN CAST IN FORMS BUT LATER EXPOSED TO WEATHER OR GROUND.
- 65 WHEN CAST DIRECTLY IN CONTACT WITH GROUND.

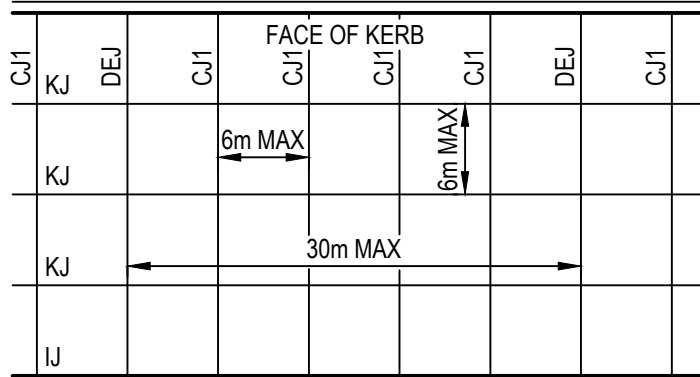
CURING

- CURE ALL CONCRETE IN ACCORDANCE TO THE METHOD PROVIDED IN THE SPECIFICATION.

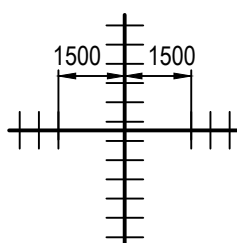
JOINTING NOTES

VEHICULAR PAVEMENT JOINTING

- ALL VEHICULAR PAVEMENT TO BE JOINTED AS SHOWN ON DRAWINGS.
- KEYED CONSTRUCTION JOINTS SHOULD GENERALLY BE LOCATED AT A MAXIMUM OF 6m CENTRES.
- SAWN JOINTS SHOULD GENERALLY BE LOCATED AT A MAXIMUM OF 6m CENTRES OR 1.5 x THE SPACING OF KEYED JOINTS, WHERE KEY JOINT SPACING IS LESS THAN 4m, WITH DOWELLED EXPANSION JOINTS AT MAXIMUM OF 30m CENTRES.
- PROVIDE 10mm WIDE FULL DEPTH ISOLATION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVERS.
- VEHICULAR PAVEMENT JOINTING AS FOLLOWS.

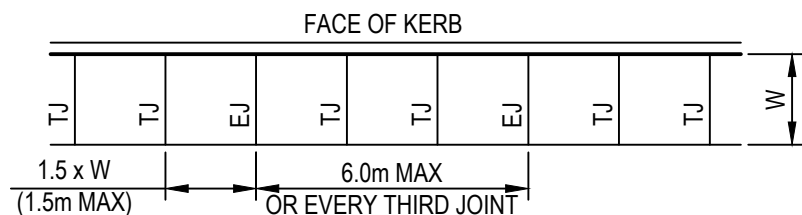


- WHERE DOWELLED JOINTS INTERSECT REMOVE DOWELS FROM LAST 1500mm FROM JOINT IN DIRECTION OF POUR.



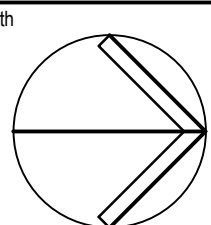
PEDESTRIAN FOOTPATH JOINTING

- DOWELED JOINTS ARE TO BE LOCATED WHERE POSSIBLE AT TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 6.0m CENTRES.
- TOOLED JOINTS ARE TO BE LOCATED AT A MAX 1.5 x WIDTH OF THE PAVEMENT.
- WHERE POSSIBLE JOINTS SHOULD BE LOCATED TO MATCH KERBING AND/OR ADJACENT PAVEMENT JOINTS.
- ALL PEDESTRIAN FOOTPATH JOINTING LAYOUTS AS FOLLOWS (UNO)



- ALL RAMPED CROSSINGS SHALL BE DOWELED INTO ADJOINING PATH PAVEMENT

B	RE-ISSUE FOR DEVELOPMENT APPLICATION	25.08.20	DK	GL	
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL	
Issue	Description	Date	Drawn	Approved	



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Project

PROPOSED MIXED
INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title

NOTES

Drawn DW	Date May-20	Scale A1	Q.A. Check	Date
Designed WS	Project No. SY190329	Dwg. No.	C1.02	Issue B

NOT FOR CONSTRUCTION



PROVIDE 3.0m LENGTH OF 1000 SUBSOIL WRAPPED IN GEOFABRIC SOCK AT UPSTREAM END OF PIT

225

PROVIDE STEP IRONS IF PIT DEEPER THAN 900 (REFER DETAILS).

150 MIN

1

FLOW

PLAN

SETOUT POINT IN THE MIDDLE OF GRATE / LID

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A	ISSUE FOR DEVELOPMENT APPLICATION	28.05.20	DW	6X
Issue	Description	Date	Drawn	Approved
0	10mm at full scale			20cm

Client



Architec

**Ac
OR**



Project

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title

Drawn

DW

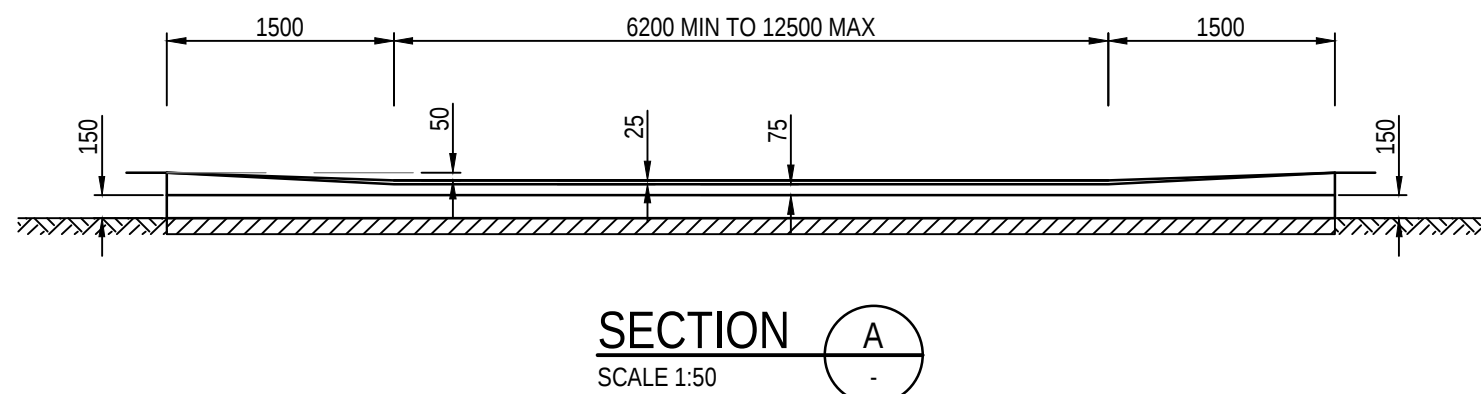
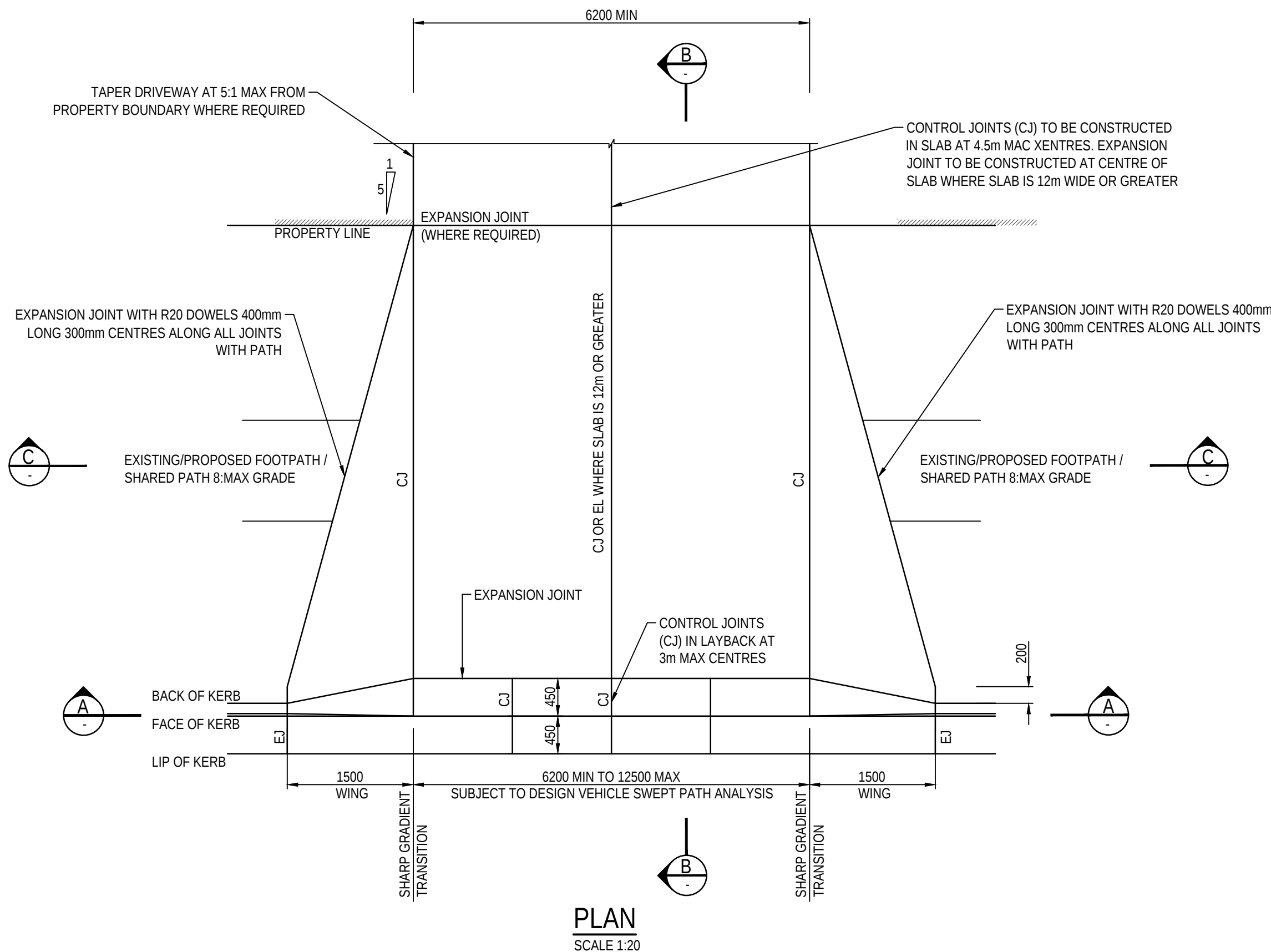
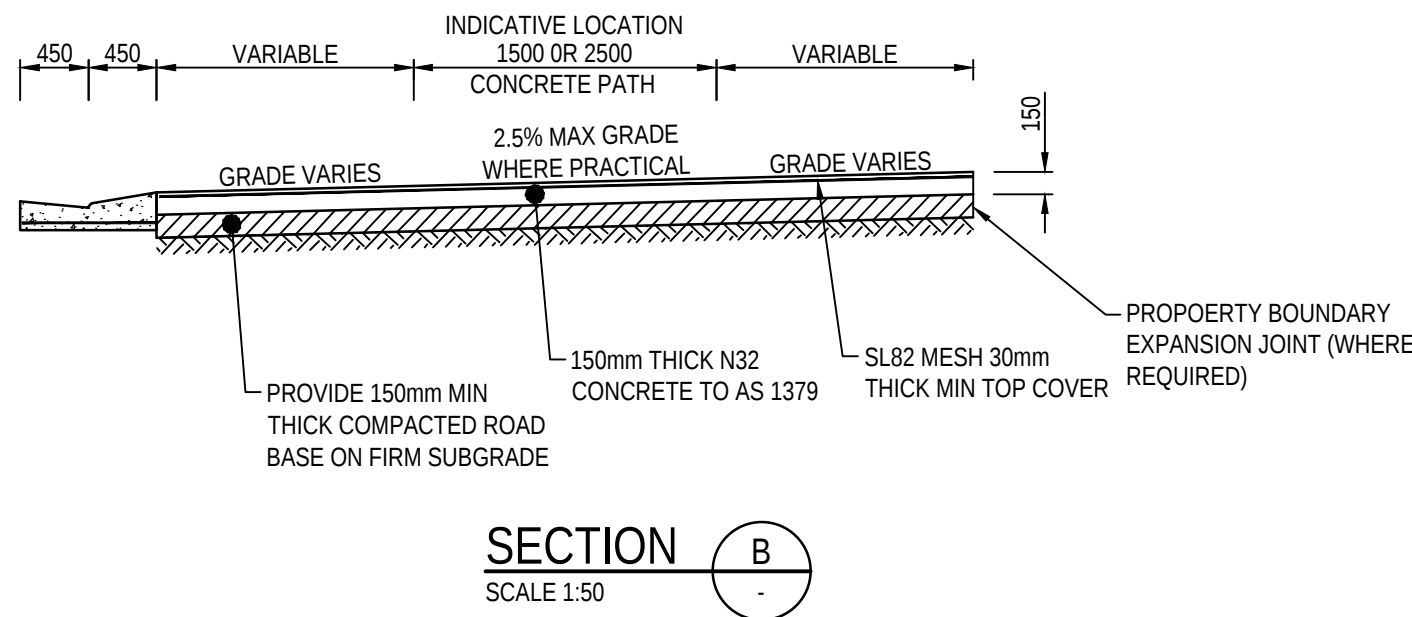
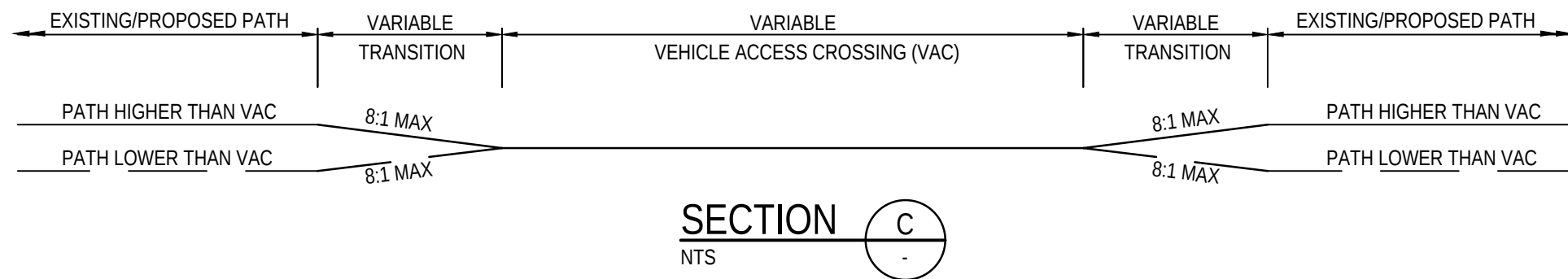
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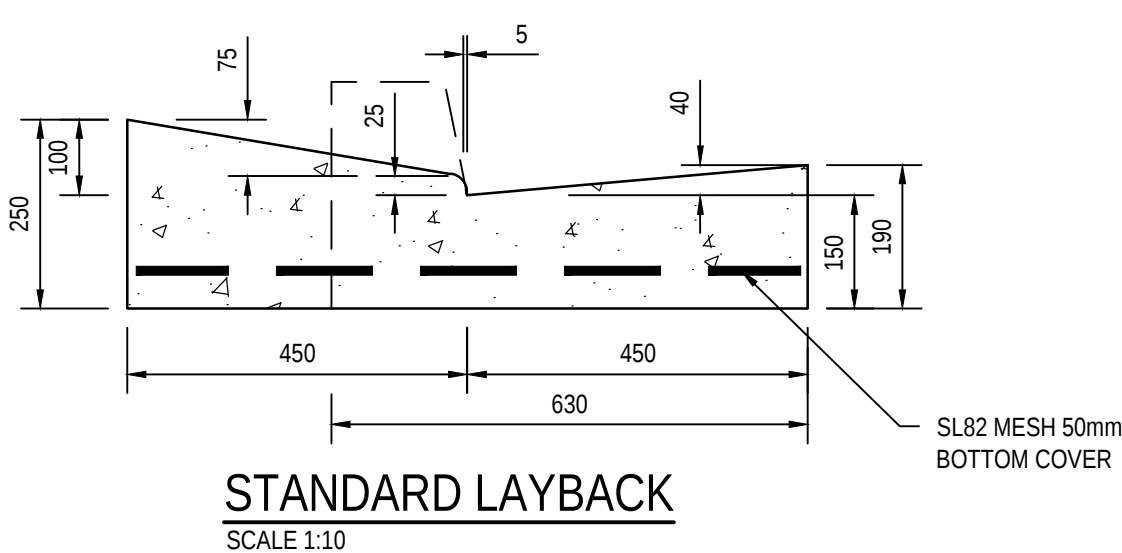
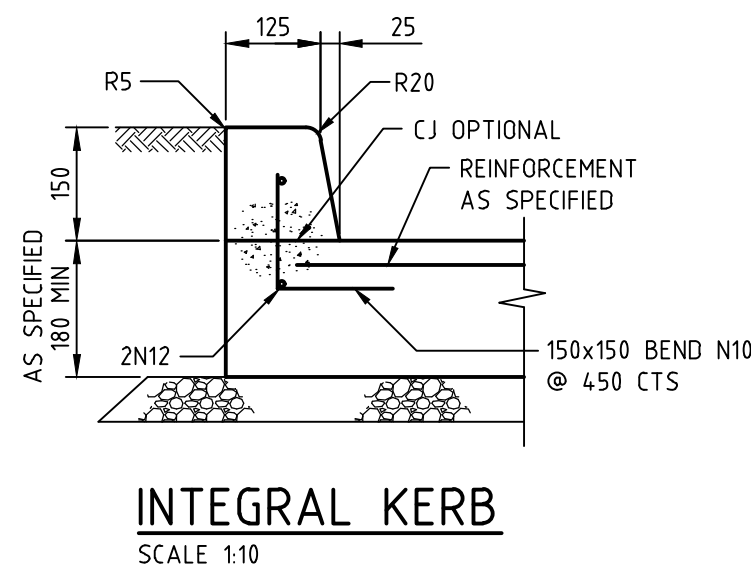
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ON			
	Date		
	Issue		
	A		

NOT FOR CONSTRUCTION



INDUSTRIAL AND COMMERCIAL VEHICLE ACCESS CROSSING
CENTRAL COAST COUNCIL STANDARD DRAWING SD 0506



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						North
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL		
Issue	Description	Date	Drawn	Approved		
1						

Client

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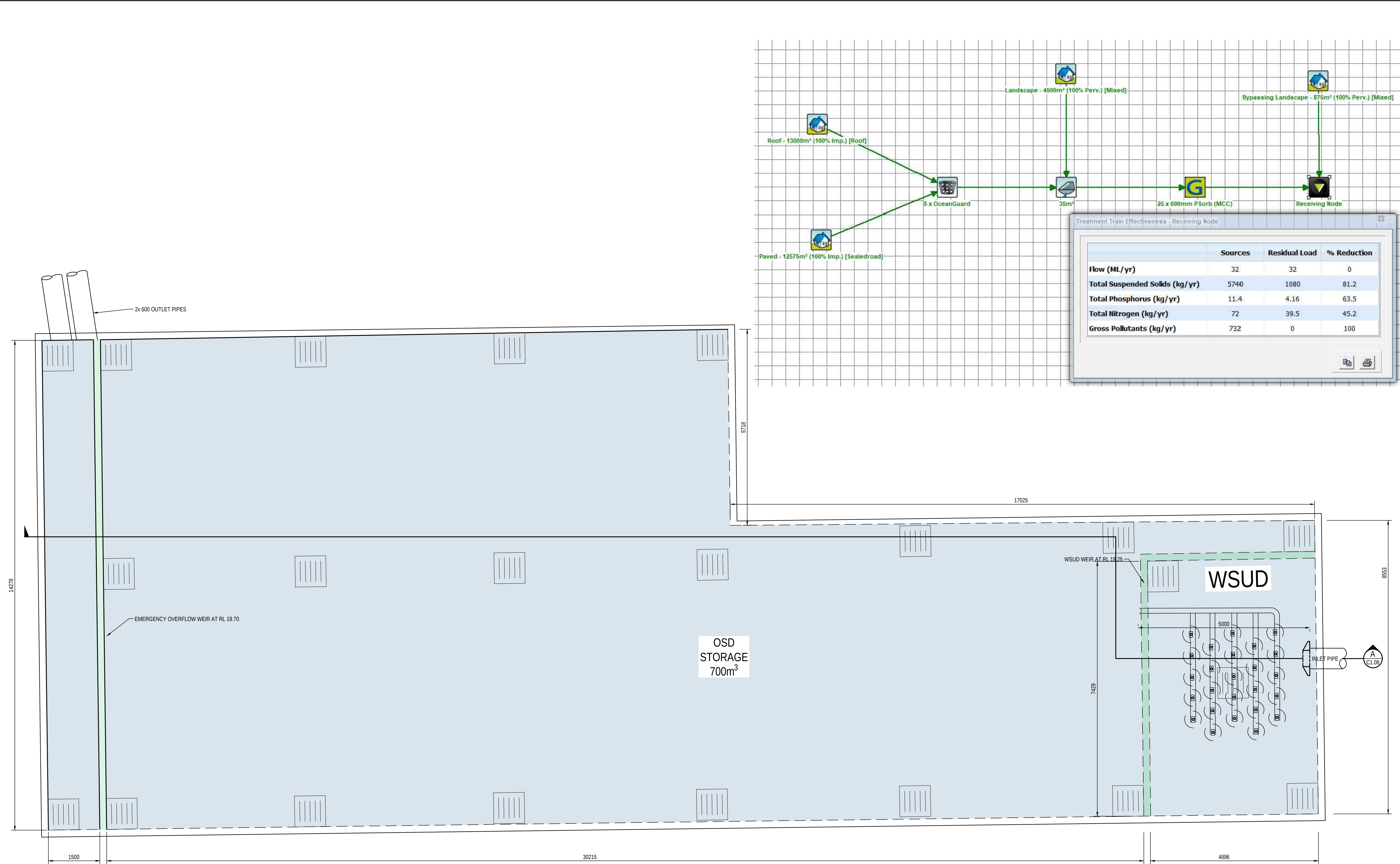
Project

PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title DETAILS SHEET 2					
Drawn DW	Date May-20	Scale AS SHOWN	A1	Q.A. Check	Date
Designed WS	Project No. SY190329	Dwg. No. C1.06	Issue A		

NOT FOR CONSTRUCTION



Treatment Train Effectiveness - Receiving Node			
	Sources	Residual Load	% Reduction
Flow (ML/yr)	32	32	0
Total Suspended Solids (kg/yr)	5740	1080	81.2
Total Phosphorus (kg/yr)	11.4	4.16	63.5
Total Nitrogen (kg/yr)	72	39.5	45.2
Gross Pollutants (kg/yr)	732	0	100

OSD PLAN
SCALE 1:50

NOT FOR CONSTRUCTION

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A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL	
Issue	Description	Date	Drawn	Approved	
1					

Palladium
Property

Client
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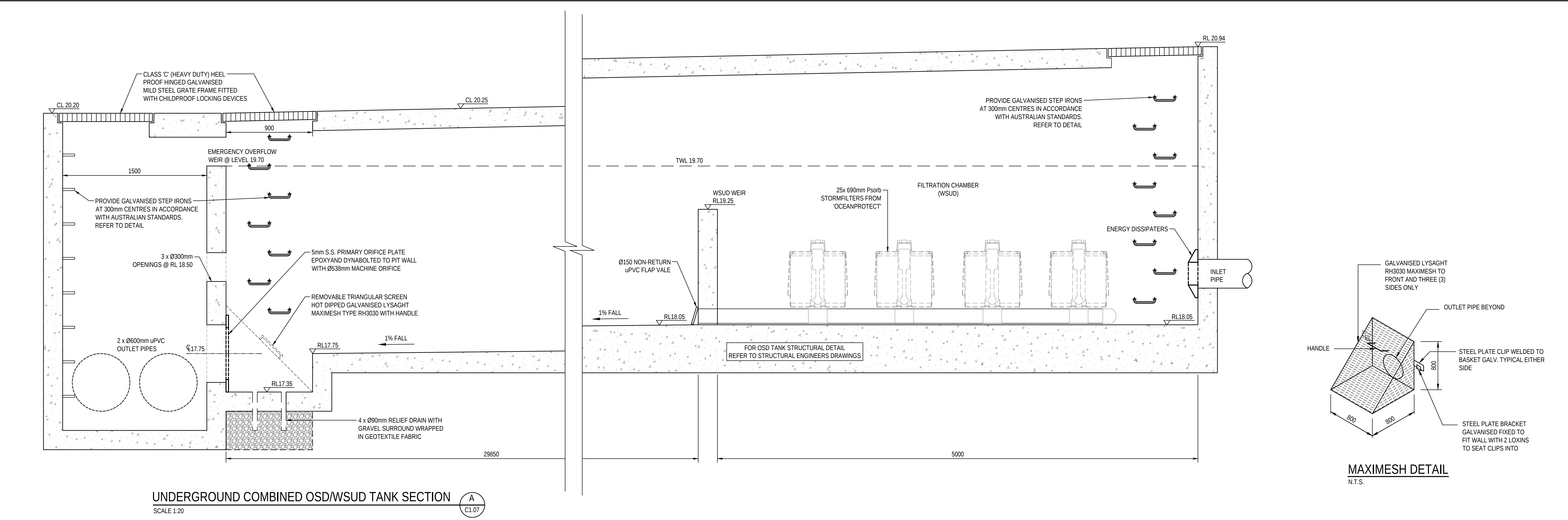
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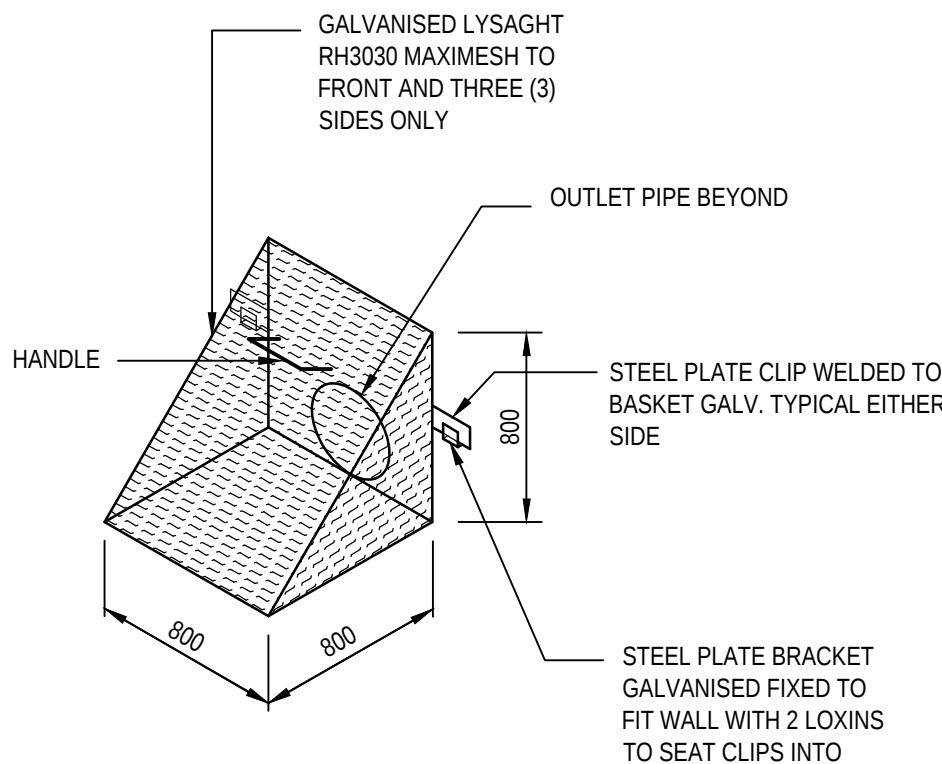
Project
PROPOSED MIXED
INDUSTRIAL DEVELOPMENT
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Project No.
SY190329

Drawing Title DETAILS SHEET 4					
Drawn DW	Date May-20	Scale AS SHOWN	A1	Q.A. Check	Date
Designed WS	SY190329			Dwg. No. C1.07	Issue A



UNDERGROUND COMBINED OSD/WSUD TANK SECTION
SCALE 1:20

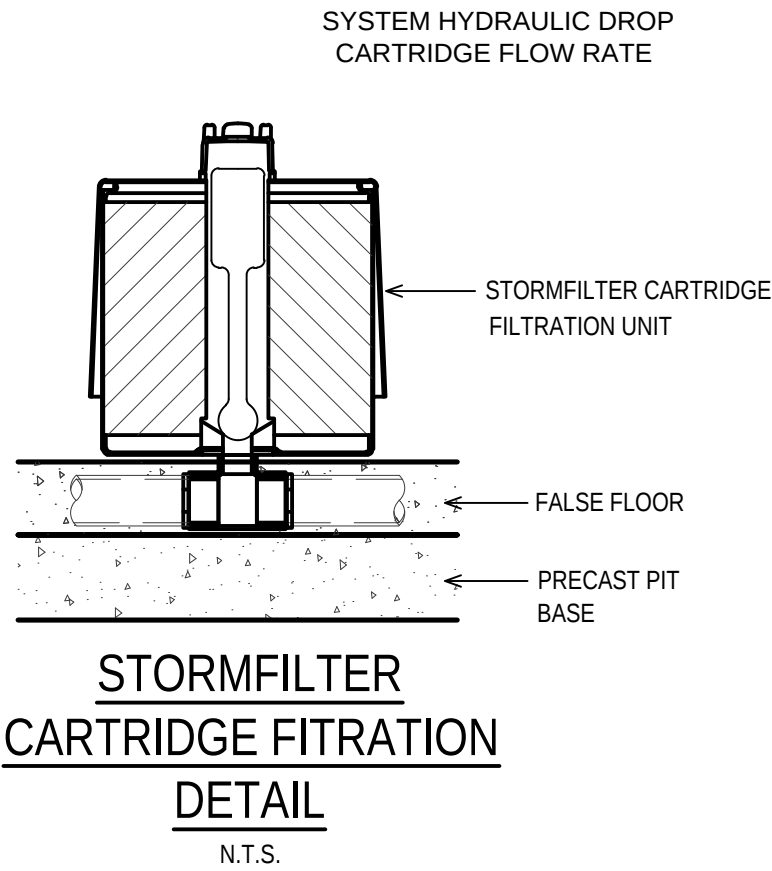


MAXIMESH DETAIL
N.T.S.

STORMFILTER DESIGN TABLE

- STORMFILTER TREATMENT CAPACITY VARIES BY NUMBER OF FILTER CARTRIDGES INSTALLED AND BY REGION SPECIFIC INTERNAL FLOW CONTROLS. CONVEYANCE CAPACITY IS RATED AT 80L/S.
- THE STANDARD CONFIGURATION IS SHOWN. ACTUAL CONFIGURATION OF THE SPECIFIED STRUCTURE(S) PER CIVIL ENGINEER WILL BE SHOWN ON SUBMITTAL DRAWING(S).
- ALL PARTS PROVIDED AND INTERNAL ASSEMBLY BY STORMWATER360 AUSTRALIA UNLESS OTHERWISE NOTED.

CARTRIDGE HEIGHT	690	460	310
SYSTEM HYDRAULIC DROP (H - REQ'D. MIN.)	930	700	550
TREATMENT BY MEDIA SURFACE AREA L/S/m ²	1.4	0.7	1.4
CARTRIDGE FLOW RATE (L/s)	1.42	0.71	0.95



SITE SPECIFIC
DATA REQUIREMENTS

STRUCTURE ID	1
WATER QUALITY FLOW RATE (L/S)	-
PEAK FLOW RATE (L/S)	-
RETURN PERIOD OF PEAK FLOW (yrs)	-
# OF CARTRIDGES REQUIRED (8-22)	25
CARTRIDGE HEIGHT (310, 460 or 690mm)	
MEDIA TYPE (PERLITE, PERLITE/ZEOLITE OR ZPG)	-

PRECAST VAULT WEIGHT2524 kg
PRECAST LID WEIGHT547 kg

PIPE ORIENTATION

LADDER

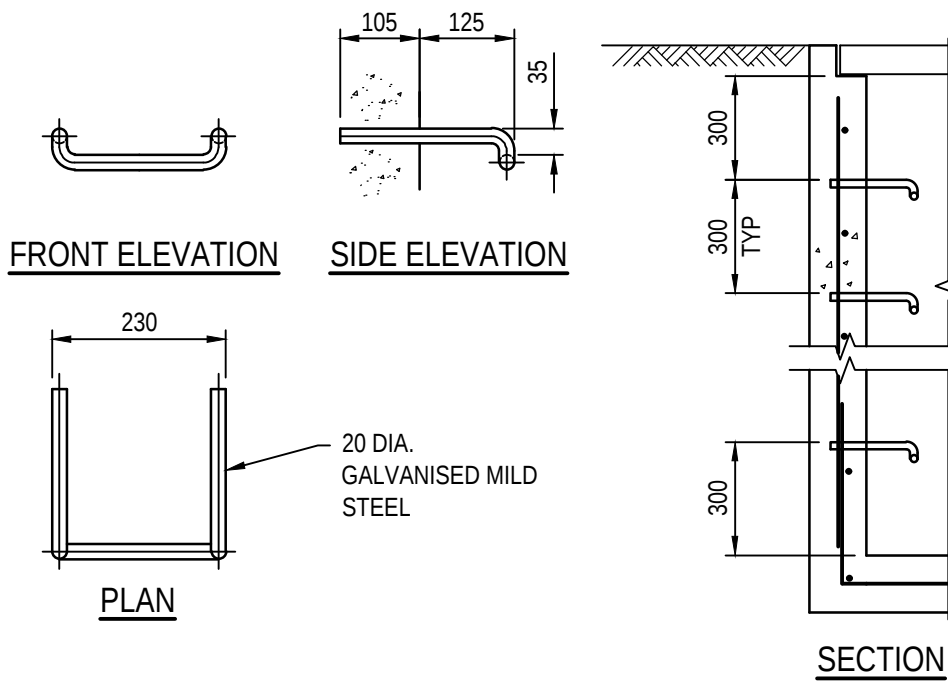
ANTI-FLOTATION BALLAST	N/A	N/A
------------------------	-----	-----

STORMFILTER TABLE

N.T.S.

GENERAL NOTES

- INLET AND OUTLET PIPING SHALL BE SPECIFIED BY SITE CIVIL ENGINEER (SEE PLANS) AND PROVIDED BY CONTRACTOR. STORMFILTER IS PROVIDED WITH OPENINGS AT INLET AND OUTLET LOCATIONS.
- IF THE PEAK FLOW RATE, AS DETERMINED BY THE SITE CIVIL ENGINEER, EXCEEDS THE PEAK HYDRAULIC CAPACITY OF THE PRODUCT, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED. PLEASE CONTACT STORMWATER360 FOR OPTIONS.
- THE FILTER CARTRIDGE(S) ARE SIPHON-ACTUATED AND SELF-CLEANING. THE STANDARD DETAIL DRAWING SHOWS THE MAXIMUM NUMBER OF CARTRIDGES. THE ACTUAL NUMBER SHALL BE SPECIFIED BY THE SITE CIVIL ENGINEER ON SITE PLANS OR IN DATA TABLE BELOW. PRECAST STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH AS3600.
- FOR SHALLOW, LOW DROP OR SPECIAL DESIGN CONSTRAINTS, CONTACT STORMWATER360 FOR DESIGN OPTIONS.
- ALL WATER QUALITY PRODUCTS REQUIRE PERIODIC MAINTENANCE AS OUTLINED IN THE O&M GUIDELINES. PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS.
- STRUCTURE AND ACCESS COVERS DESIGNED TO MEET AUSTRROADS T44 LOAD RATING WITH 0.2m FILL MAXIMUM.
- THE STRUCTURE THICKNESSES SHOWN ARE FOR REPRESENTATIONAL PURPOSES AND VARY REGIONALLY.
- ANY BACKFILL DEPTH, SUB-BASE, AND OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY SITE CIVIL ENGINEER.
- STORMFILTER BY STORMWATER360: SYDNEY (AU) PHONE: (02) 9525 5833, BRISBANE (AU) PHONE: (07) 3272 1872.



STEP IRON DETAIL
N.T.S.

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						North
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL		
Issue	Description	Date	Drawn	Approved		
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27 SUNNYBANK ROAD
LISAROW, NSW 2250

Project
PROPOSED MIXED
INDUSTRIAL DEVELOPMENT

Drawing Title DETAILS SHEET 5					
Drawn DW	Date May-20	Scale AS SHOWN	A1	Q.A. Check	Date
Designed WS	Project No. SY190329	Dwg. No. C1.08	Issue A		

NOT FOR CONSTRUCTION

THE PRE-DEVELOPMENT IS 100% PERVIOUS AREA, THEREFORE RESULTS FOR 1YR AND 2YR IN DRAINS MODEL ARE EXCLUDED.



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North	

Client

Palladium
Property
est. 2006

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STRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

Project

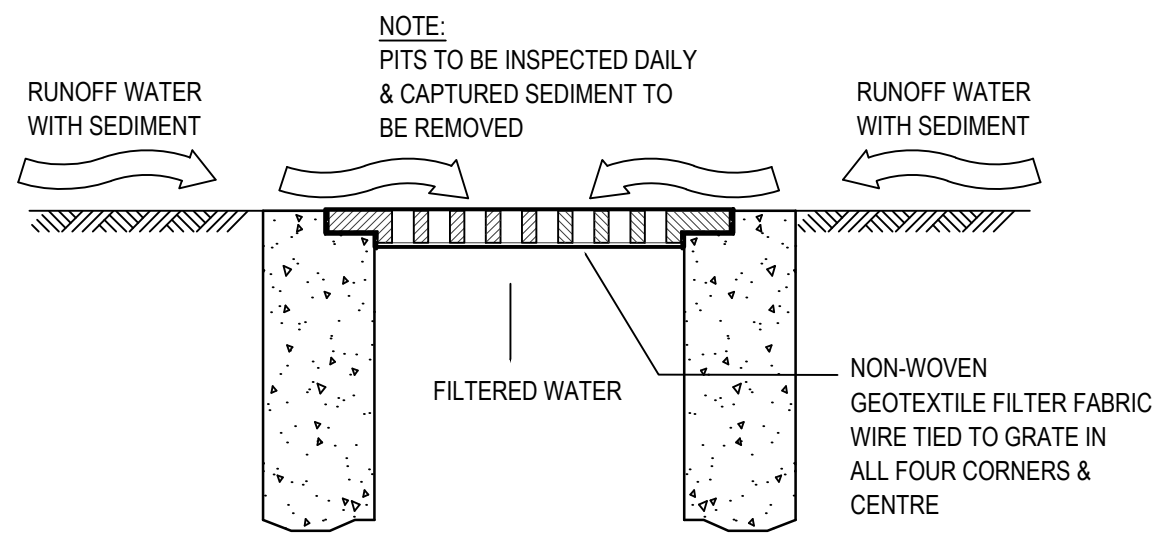
PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

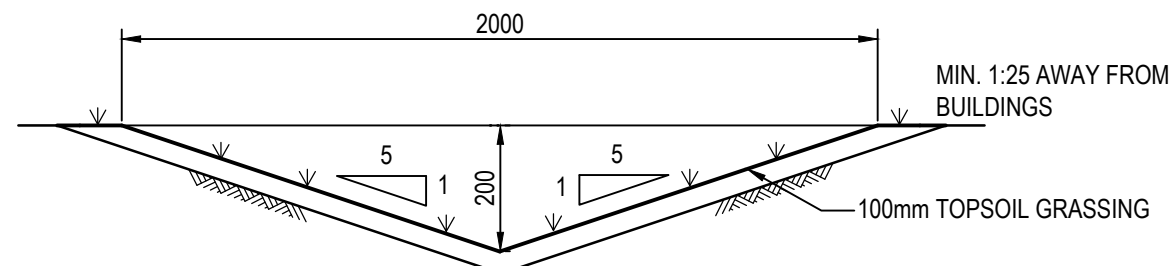
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Designed WS	Project No. SY190329			Dwg. No. C1.09	Issue A

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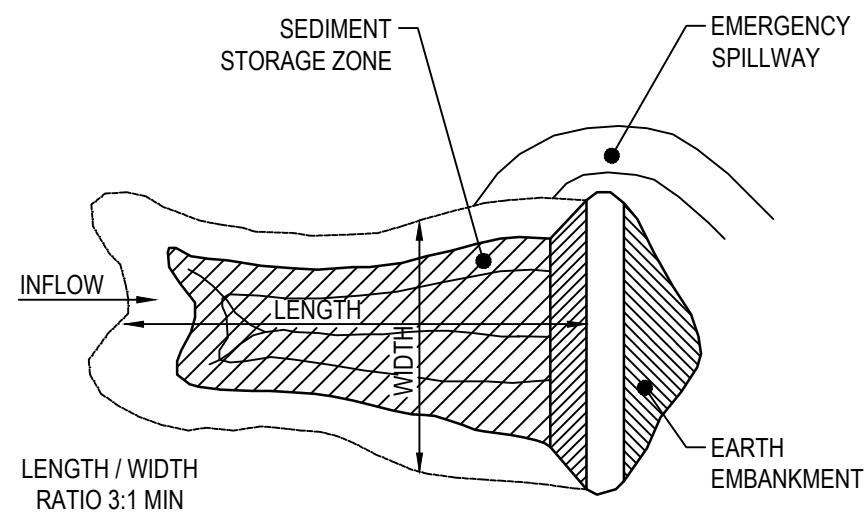
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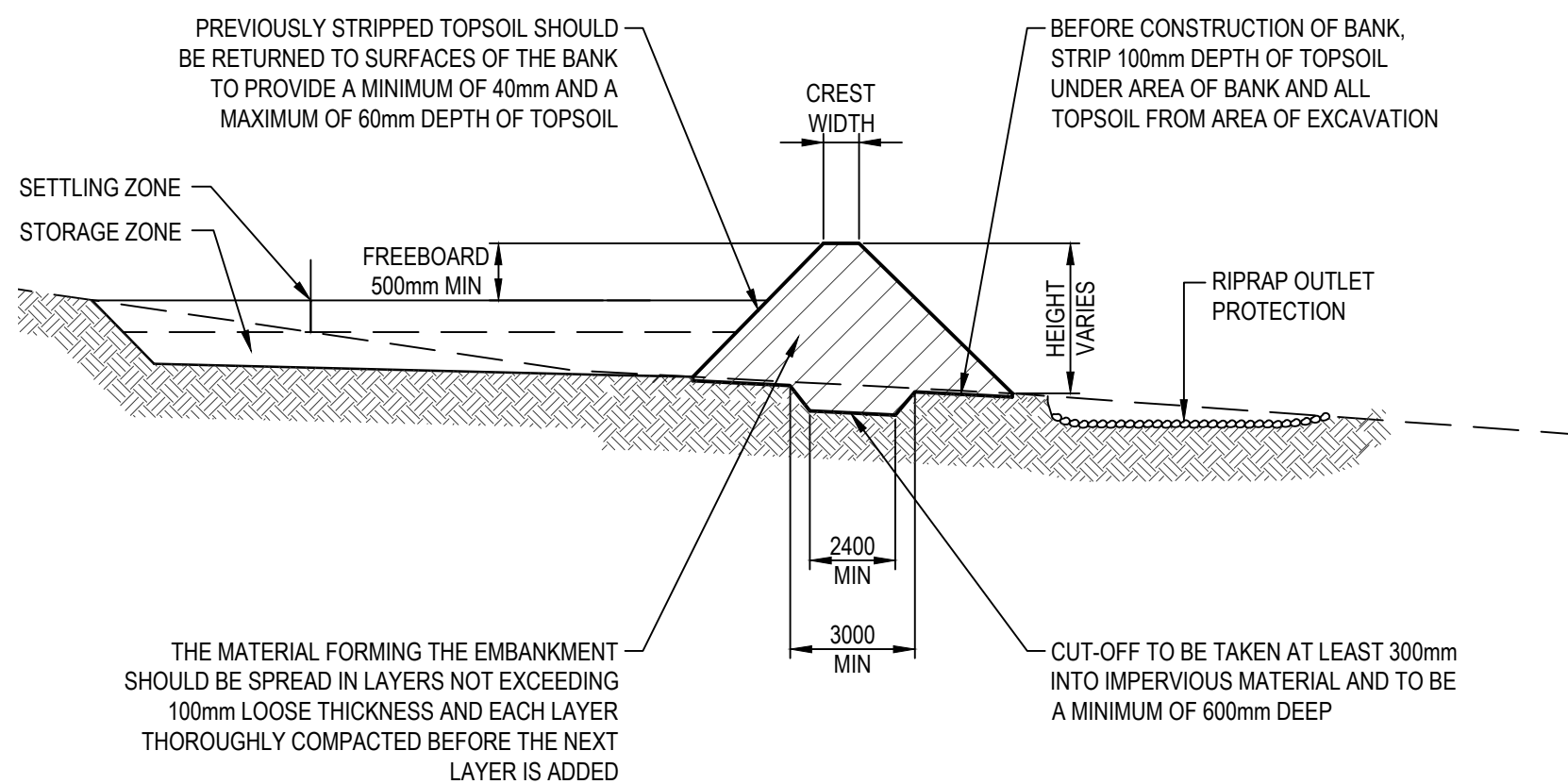
INLET TRAP
NTS



TYPICAL SECTION THROUGH
STORMWATER DIVERSION CHANNEL
N.T.S.

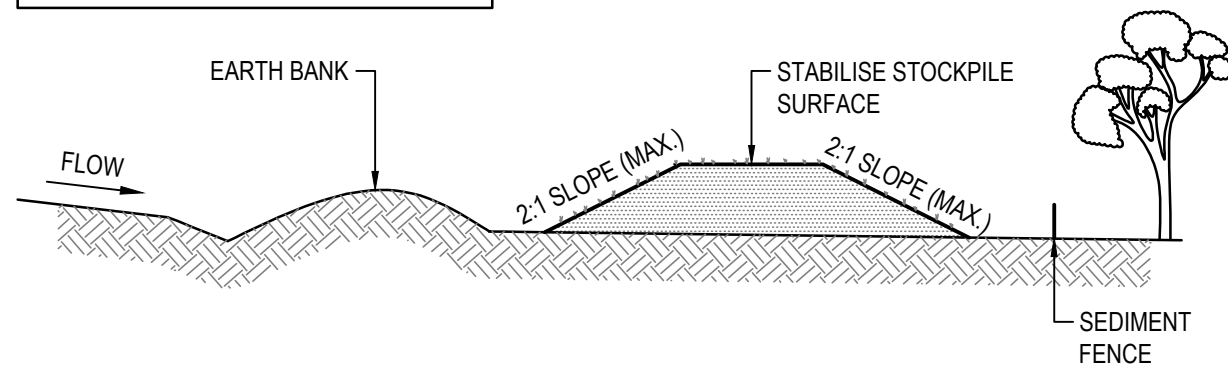


SEDIMENT BASIN (TYPICAL) PLAN - TYPE D AND F SOILS
NOT TO SCALE



SEDIMENT BASIN (TYPICAL) CROSS SECTION - TYPE D AND F SOILS
NOT TO SCALE

SOURCE:
MANAGING URBAN STORMWATER SOILS
AND CONSTRUCTION. THIRD EDITION,
AUGUST 1998 PRODUCED BY THE
DEPARTMENT OF HOUSING



CONSTRUCTION NOTES

1. LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND.
3. WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
4. REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
5. CONSTRUCT EARTH BANK (STANDARD DRAWING 5-2) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (STANDARD DRAWING 6-7) 1 TO 2 METRES DOWNSLOPE OF STOCKPILE.

STOCKPILES
N.T.S.

SEDIMENT BASIN VOLUME

SOIL TYPE: D
BASIN VOLUME = SETTLING ZONE VOLUME + SEDIMENT STORAGE ZONE VOLUME
THE SETTLING ZONE VOLUME FOR TYPE D SOILS IS CALCULATED TO PROVIDE CAPACITY TO CONTAIN ALL RUNOFF EXPECTED FROM UP TO THE 75th PERCENTILE RAINFALL EVENT. THE SETTLING ZONE VOLUME (V) CAN BE DETERMINED BY THE FOLLOWING EQUATION:

$$V = 10 \times C_v \times A \times R \quad 75\text{th ile, 5 day (m}^3\text{)}$$

WHERE:

DESCRIPTION	VALUE
10 = A UNIT CONVERSION FACTOR	10
C_v = THE VOLUMETRIC RUNOFF COEFFICIENT, DEFINED AS THAT PORTION OF RAINFALL THAT RUNS OFF AS STORMWATER OVER THE 5-DAY PERIOD	0.58 { AS RECOMMENDED

R = IS THE 5-DAY TOTAL RAINFALL DEPTH (mm) WHICH IS NOT EXCEEDED IN 75% OF RAINFALL EVENTS.	27.9 { ADOPT FIGURE
---	---------------------

A = AREA OF CATCHMENT IN HECTARES (ha)	3.095
--	-------

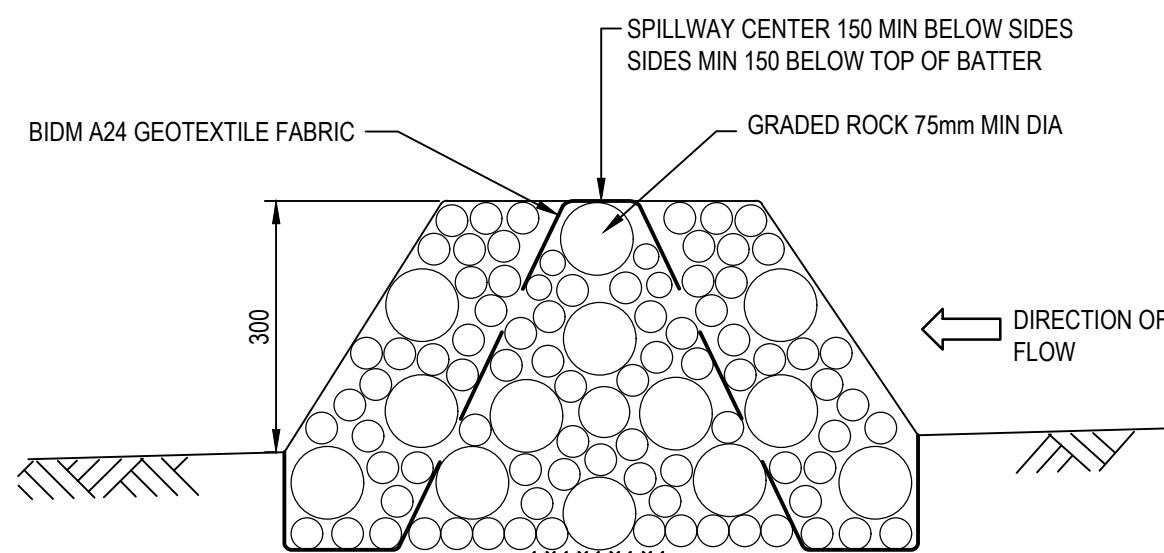
$$V = 10 \times C_v \times A \times R \quad 75\text{th ile, 5 day}$$
$$V = 10 \times 0.58 \times 3.095 \times 27.9$$
$$V = 500.8 \text{ m}^3$$

TOTAL BASIN VOLUME = SETTLING ZONE VOL. + SEDIMENT STORAGE ZONE VOL.

THE SEDIMENT STORAGE ZONE VOLUME SHALL BE CALCULATED AS 50% OF STORAGE VOLUME

$$\text{TOTAL BASIN VOLUME} = 500.8 \text{ m}^3 + 250 \text{ m}^3$$
$$\text{TOTAL BASIN VOLUME} = 751.2 \text{ m}^3$$

- FLOCCULATION SHOULD BE PROVIDED TO BLUE BOOK (LANDCOM 2004) SPECIFICATIONS
- PUMP OUT SEDIMENT IN LINE WITH RECOMMENDATIONS OF BLUE BOOK (LANDCOM 2004)



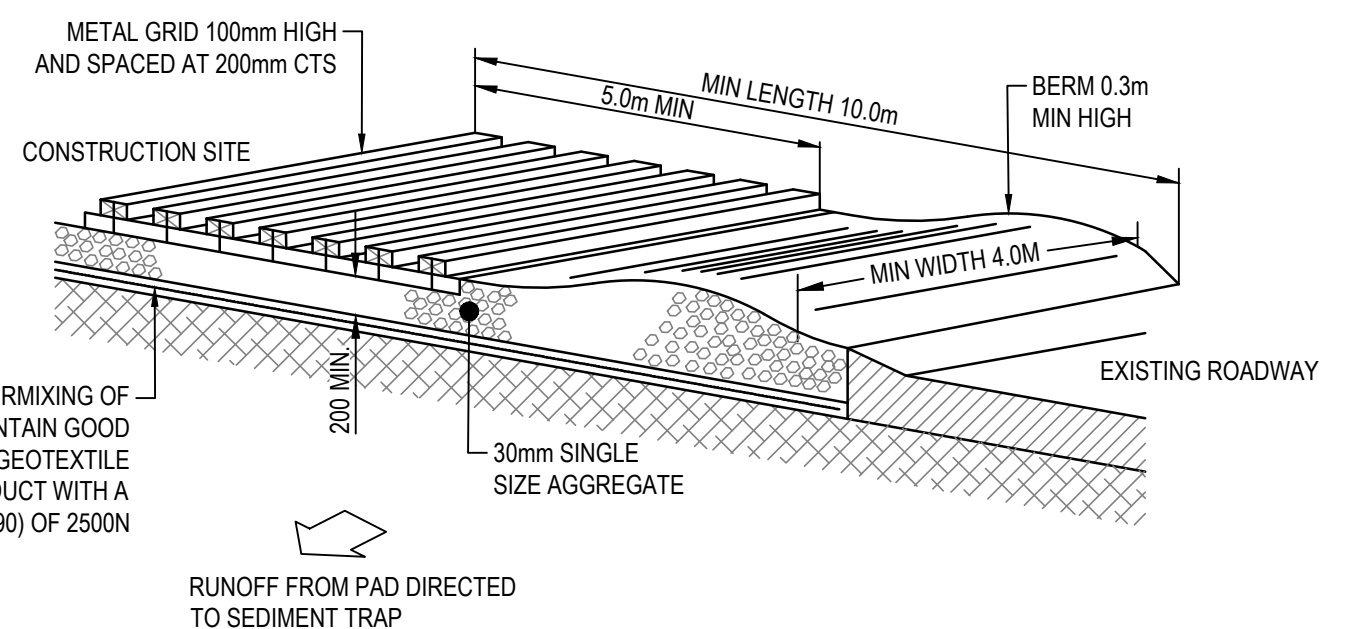
ROCK CHECK DAM
NTS

NOTE
ENSURE THAT ALL UTILITY ASSETS ARE MAINTAINED
AND PROTECTED AT ALL TIMES IN THE VICINITY OF
THE TEMPORARY CONSTRUCTION EXIT

GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF
SUBGRADE AND BASE MATERIALS AND TO MAINTAIN GOOD
PROPERTIES OF THE SUB-BASE LAYERS. THE GEOTEXTILE
MAY BE WOVEN OR NEEDLE PUNCHED PRODUCT WITH A
MINIMUM CBR BURST STRENGTH (AS3706.4-90) OF 2500N

CONSTRUCTION NOTES

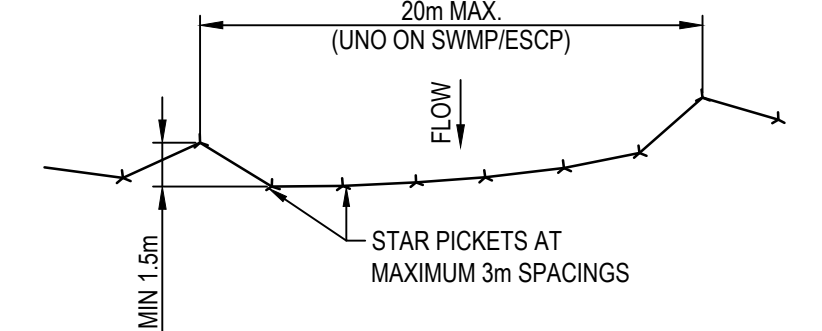
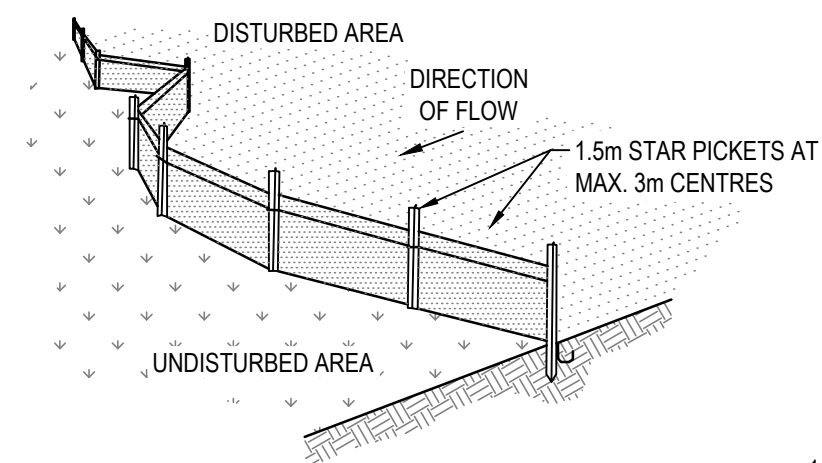
1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING 30mm SINGLE SIZE AGGREGATE.
5. CONSTRUCT HUMPS IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP WHERE THE SEDIMENT IS COLLECTED AND REMOVED.



MAINTENANCE NOTES

THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT OFF THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFF THE CONSTRUCTION SITE MUST BE REMOVED IMMEDIATELY.

TEMPORARY STABILISED CONSTRUCTION EXIT
NTS



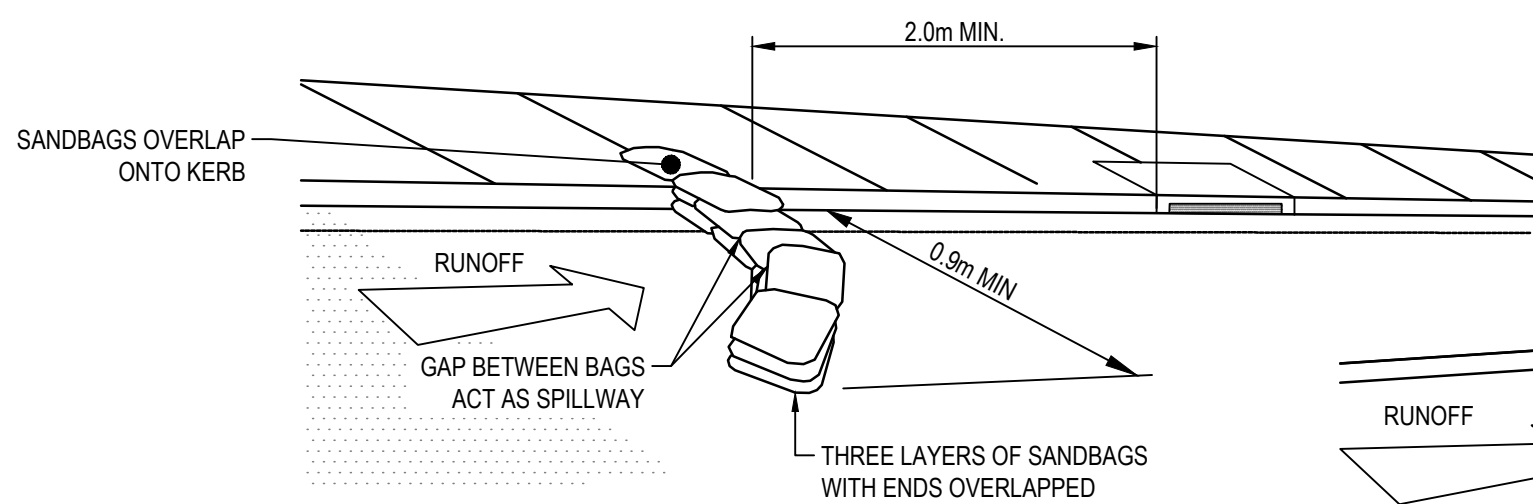
PLAN

SECTION DETAIL

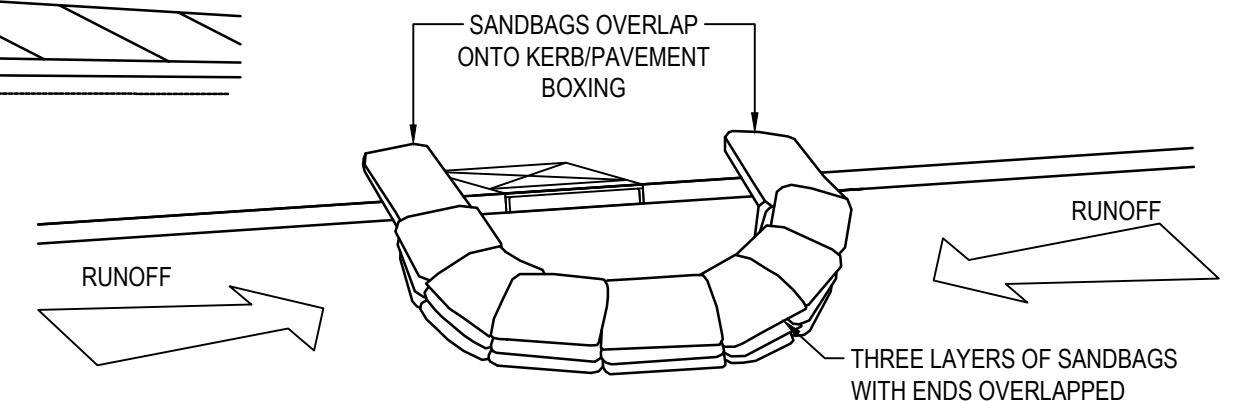
CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5m LONG STAR PICKETS INTO GROUND, 3 METRES APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

SEDIMENT CONTROL FENCE
NTS



SANDBAG SEDIMENT TRAP - AT ON GRADE PIT



SANDBAG SEDIMENT TRAP - AT KERB SAG PIT

SANDBAG SEDIMENT TRAP
NTS

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Issue	Description	Date	Drawn	Approved
B	RE-ISSUE FOR DEVELOPMENT APPLICATION	25.08.20	DK	GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL

North

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Project

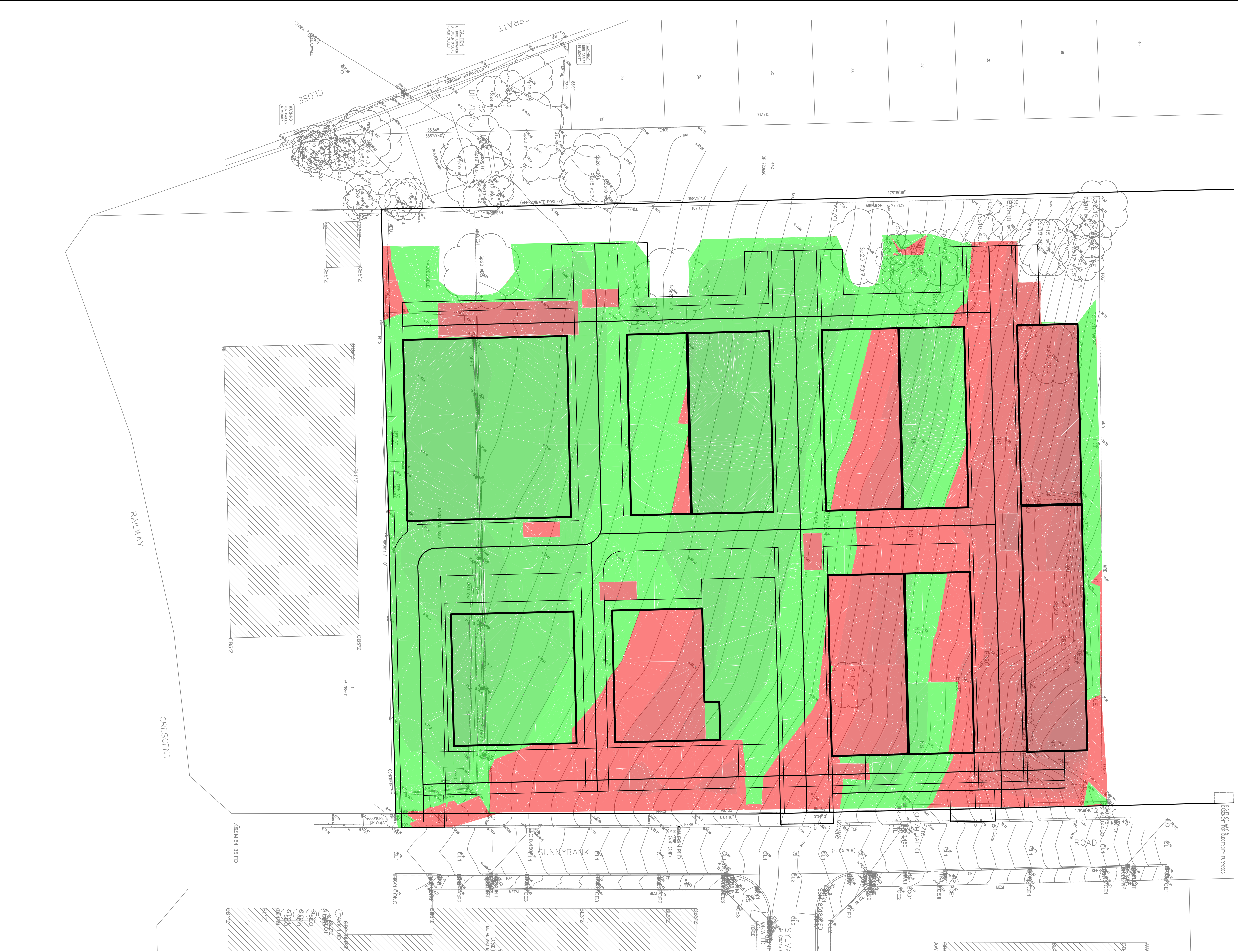
PROPOSED MIXED
INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title
DETAILS
SHEET 7

Drawn	Date	Scale	A1	Q.A. Check	Date
DW	May-20	AS SHOWN			
Designed	Project No.	Dwg. No.	Issue		
WS	SY190329	C1.10	B		

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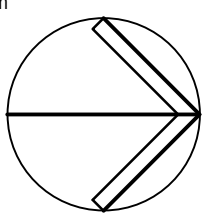
EARTHWORKS QUANTITIES	
TOTAL AREA (29,300m²)	
TOTAL CUT	-15,600 m³
TOTAL FILL	24,000 m³
TOTAL BALANCE	8,400 m³ (FILL)

LEGEND			
Lower_value	Upper_value	Colour	
-10	to	-9	m
-9	to	-8	m
-8	to	-7	m
-7	to	-6	m
-6	to	-5	m
-5	to	-4	m
-4	to	-3	m
-3	to	-2	m
-2	to	-1	m
-1	to	0	m
0	to	0	m
0	to	1	m
1	to	2	m
2	to	3	m
3	to	4	m
4	to	5	m
5	to	6	m
6	to	7	m
7	to	8	m
8	to	9	m
9	to	10	m

- NOTES
- ALL EARTHWORKS AND SUBGRADE PREPARATION SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE SITE GEOTECHNICAL INVESTIGATION RECOMMENDATIONS.
 - BULK EARTHWORKS VOLUMES MEASURE BETWEEN FINISHED SURFACE AND THE EXISTING SURFACE.
 - THE MEASUREMENTS DID NOT ACCOUNT FOR:
 - BOXING OF ROAD PAVEMENTS
 - BUILDING SLAB THICKNESS
 - STRIP TOPSOIL
 - CLASSIFICATION OF EXCAVATED (CUT) MATERIAL IS TO BE COMPLETED BY GEOTECHNICAL ENGINEER. TESTING OF EXCAVATED MATERIAL TO BE UNDERTAKEN UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER BY A NATA REGISTERED LABORATORY FOR THIS ASSESSMENT IT IS ASSUMED THAT ALL EXCAVATED (CUT) MATERIAL IS CONTAMINATED AND IS TO BE REMOVED.
 - ALL FILL MATERIAL IS TO BE IMPORTED SPECIFIED CONTROL FILL AS IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
 - THE EARTHWORKS VOLUMES ARE FOR THE TOTAL CUT/FILL ONLY AND DOES NOT CONSIDER DIFFERENT SUBGRADE MATERIAL. CONTRACTOR IS TO READ THE GEOTECHNICAL REPORT AND MAKE THEIR OWN ASSESSMENT ON GROUND STRATA CONDITIONS.
 - EARTHWORK VOLUMES ARE INDICATIVE ONLY.
 - NO BULKING OR COMPACTION FACTORS HAVE BEEN APPLIED TO THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE THEIR OWN ASSESSMENT FOR TENDERING PURPOSES.
 - THESE VOLUMES ARE BASED ON FINISHED SURFACE LEVELS (TOPSOIL AND OTHER MATERIAL VOLUMES HAVE NOT BEEN ACCOUNTED FOR).
 - THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ALL MATERIAL DISPOSAL RECEIPTS FOR SUBMISSION TO THE PRINCIPAL REPRESENTATIVE FOR REVIEW AND APPROVAL.

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E	GRADING TO PRESERVE TREES	26.02.21	VG GL
D	OSD RWT INCLUDED IN CUT FILL	30.10.20	VG GL
C	NORTH WEST RETAINING WALL ADDED	27.10.20	VG GL
B	RE-ISSUE FOR DEVELOPMENT APPLICATION	29.06.20	ROB GL
Issue	Description	Date	Drawn Approved
1			



Client

Palladium Property

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Project

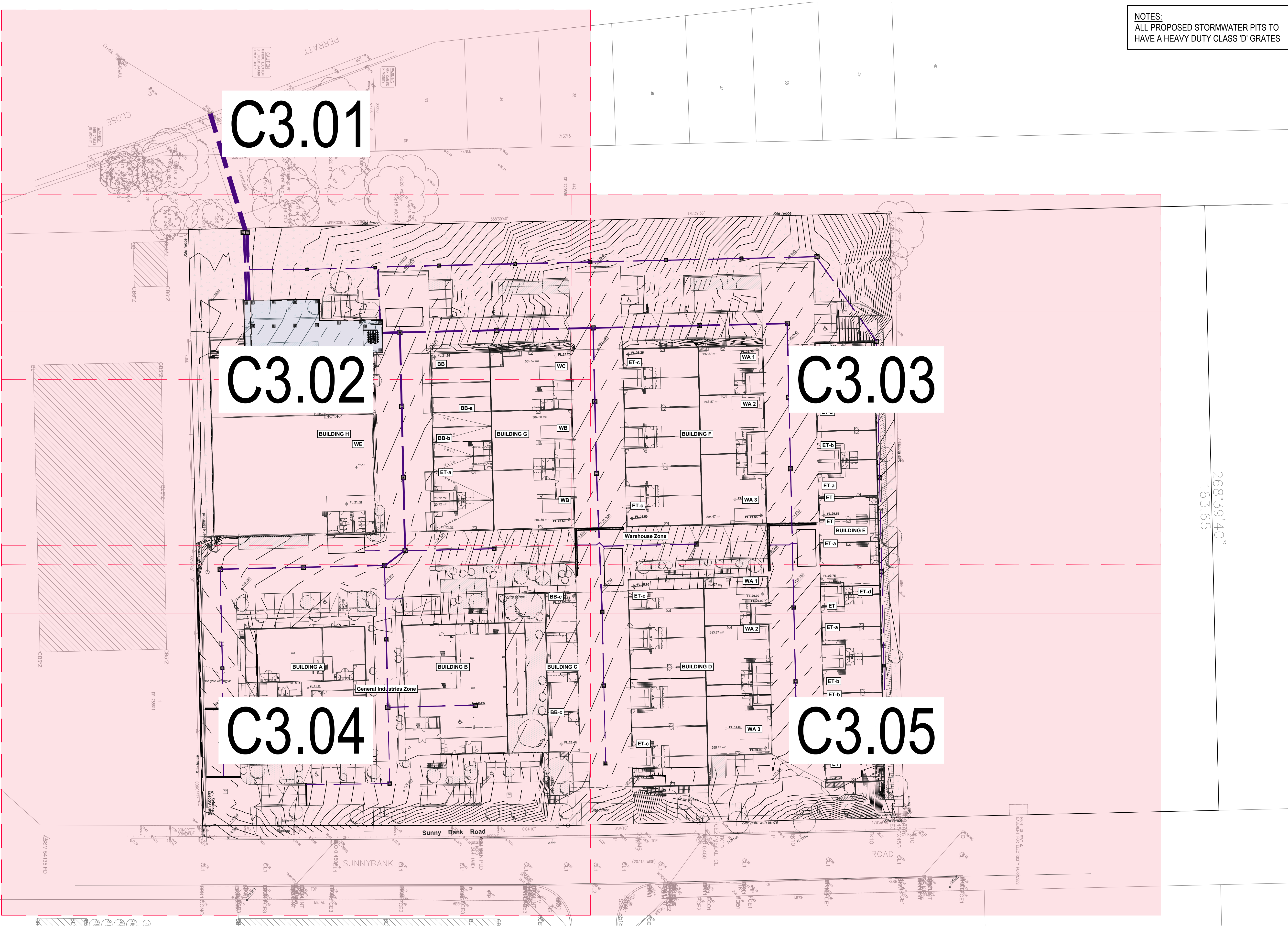
PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title			
BULK EARTHWORKS PLAN			
Drawn	Date	Scale	A1
DW	May-20	1:500	
Designed	Project No.	Dwg. No.	Issue
VG	SY190329	C2.01	E

NOT FOR CONSTRUCTION

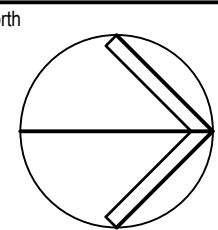
NOTES:
ALL PROPOSED STORMWATER PITS TO
HAVE A HEAVY DUTY CLASS 'D' GRATES



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B	RE-ISSUE FOR DEVELOPMENT APPLICATION	29.06.20	ROB	GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL
Issue	Description	Date	Drawn	Approved



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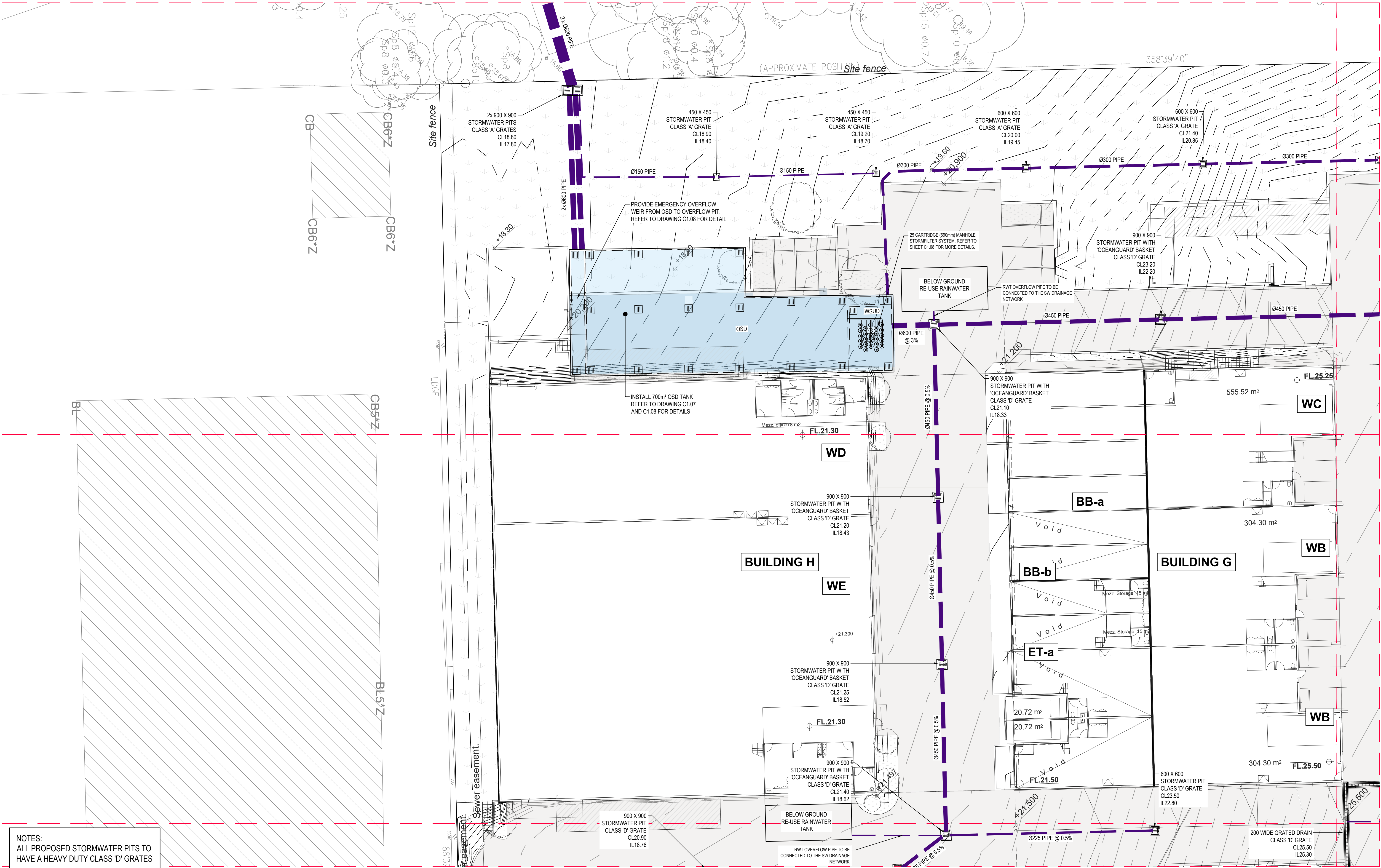
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Project
PROPOSED MIXED INDUSTRIAL DEVELOPMENT
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title CIVIL WORKS KEY PLAN				
Drawn DW	Date May-20	Scale 1:500	A1	Q.A. Check Date
Designed WS	Project No. SY190329	Dwg. No. C3.00	Issue B	

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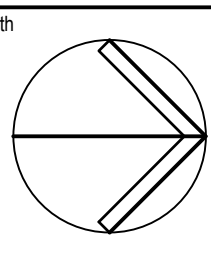


NOTES:
ALL PROPOSED STORMWATER PITS TO
HAVE A HEAVY DUTY CLASS 'D' GRATES

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Issue	Description	Date	Drawn	Approved
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL



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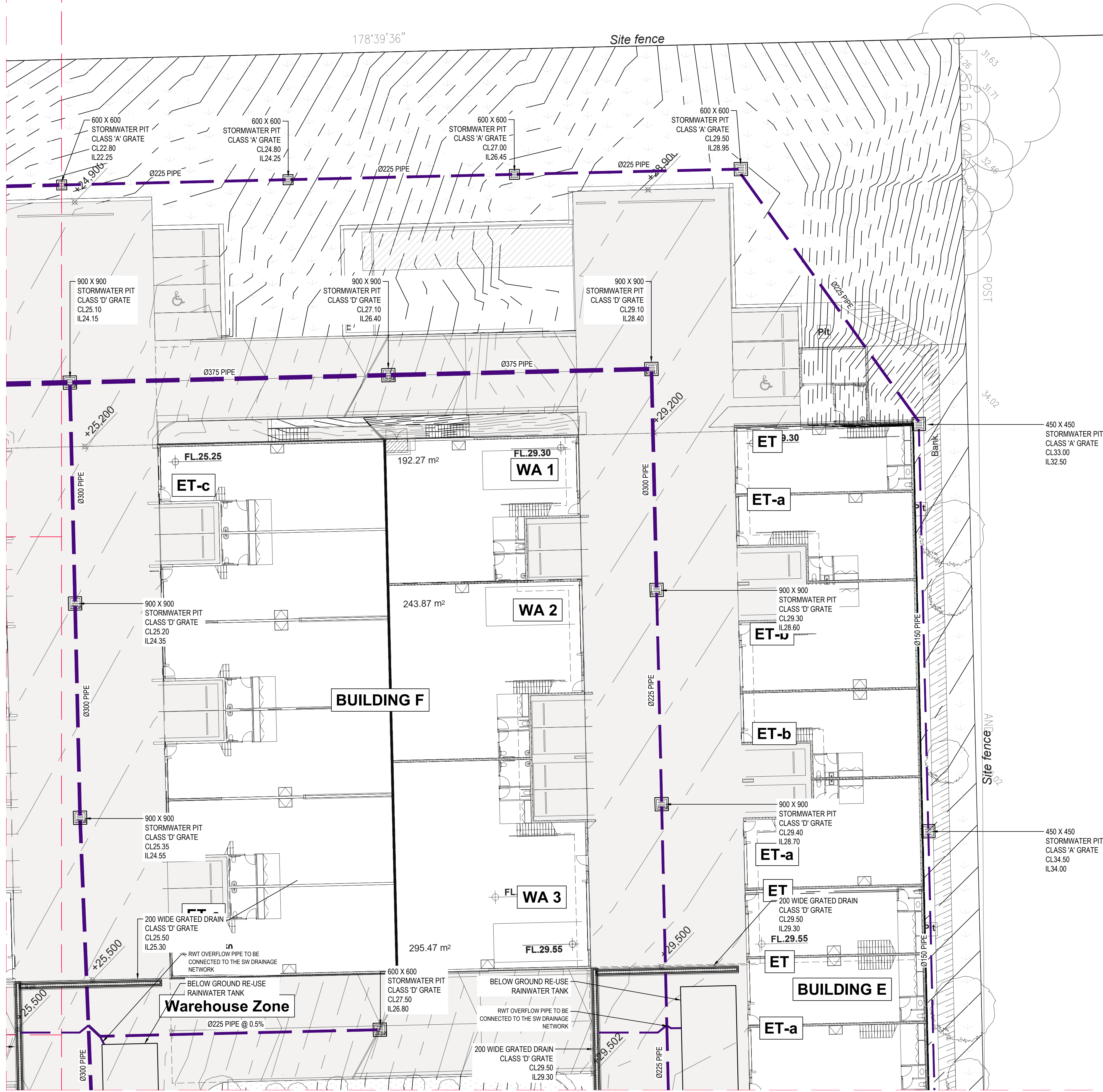
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PROPOSED MIXED INDUSTRIAL DEVELOPMENT
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title CIVIL WORKS PLAN SHEET 2					
Drawn DW	Date May-20	Scale 1:200	A1	Q.A. Check C3.02	Date
Designed WS	Project No. SY190329	Dwg. No.	Issue A		

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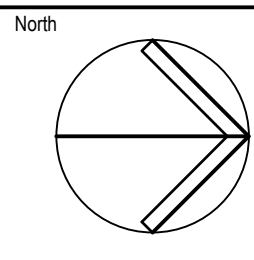
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A		26.05.20	DW	GL
Issue	Description	Date	Drawn	Approved
1	ISSUE FOR DEVELOPMENT APPLICATION			
2				
3				
4				
5				
6				
7				
8				
9				
10				



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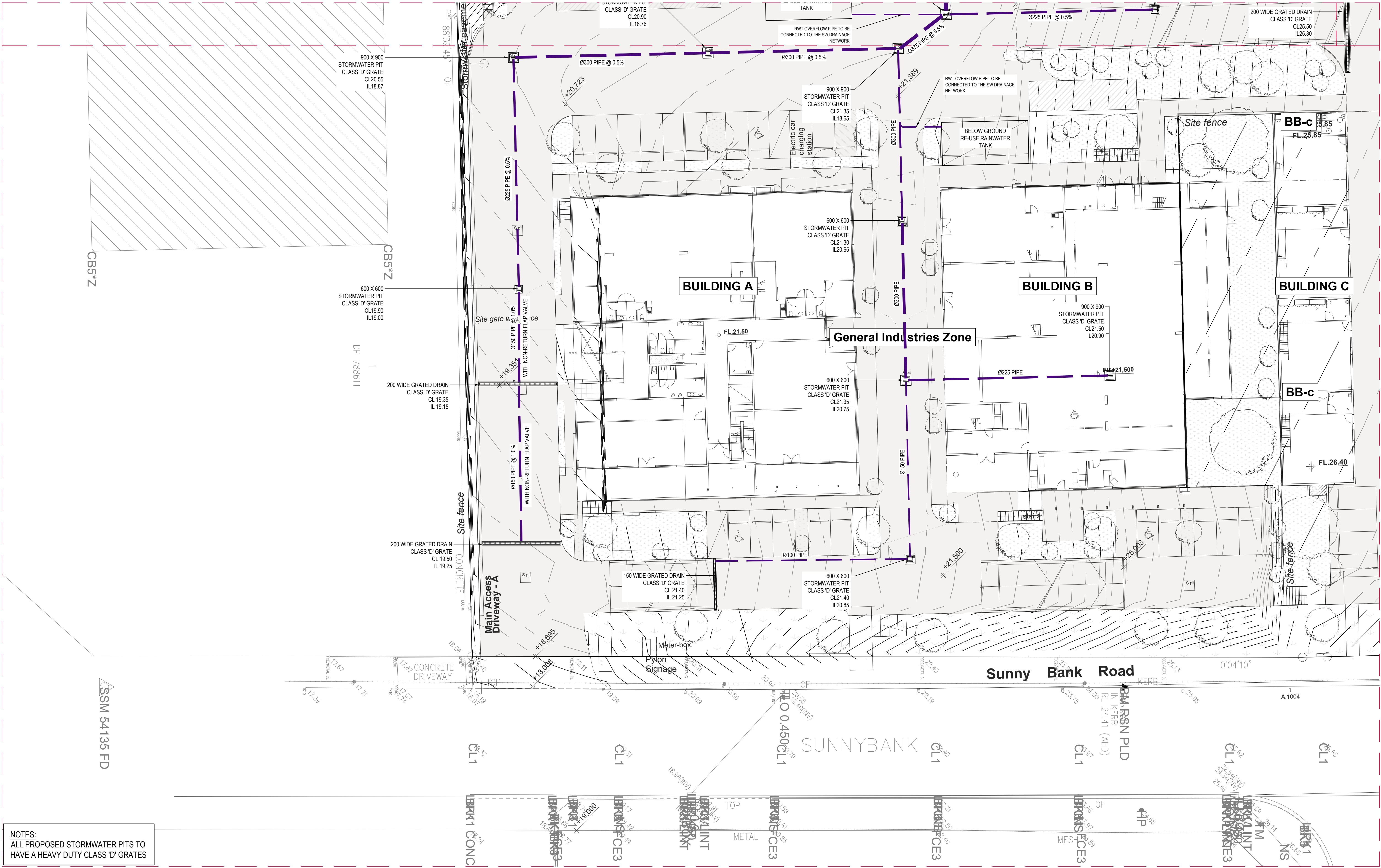
 

Project

PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

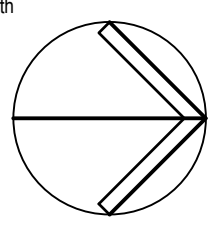
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Drawn	Date	Scale	A1	Q.A. Check	Date
DW	May-20	1:200			
Designed	Project No.	Dwg. No.	Issue		
WS	SY190329	C3.03	A		



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B	RE-ISSUE FOR DEVELOPMENT APPLICATION	29.06.20	ROB GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW GL
Issue	Description	Date	Drawn Approved
10m at full size			



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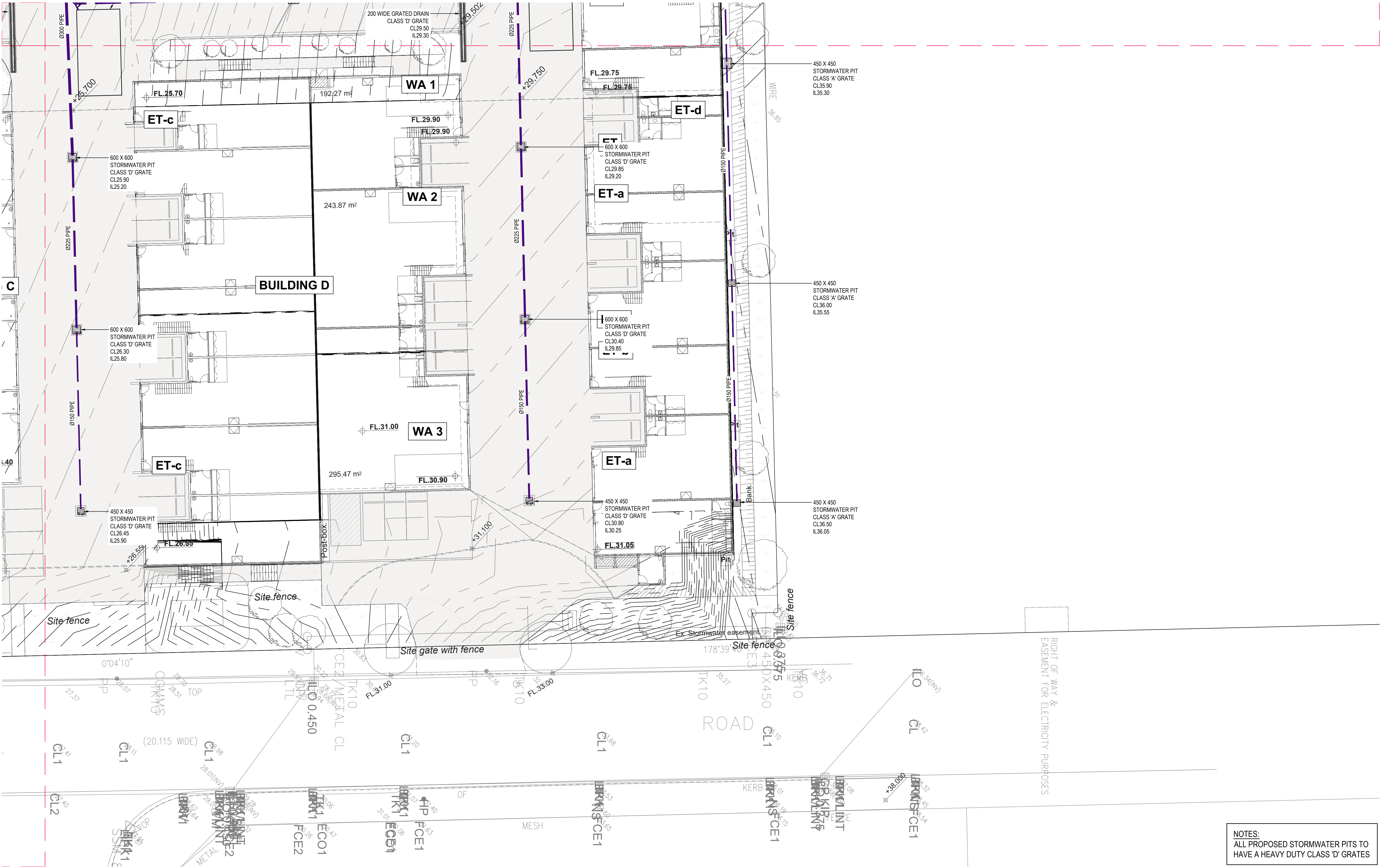
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Project
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Drawing Title CIVIL WORKS PLAN SHEET 4			
Drawn DW	Date May-20	Scale 1:200	A1
Designed WS	Project No. SY190329	Q.A. Check C3.04	Date Issue B

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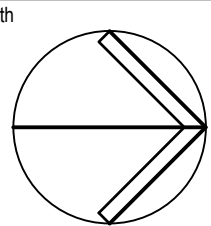


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A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL
Issue	Description	Date	Drawn	Approved
1:100m				



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Project

PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title CIVIL WORKS PLAN SHEET 5				
Drawn DW	Date May-20	Scale 1:200	A1	Q.A. Check Date
Designed WS	Project No. SY190329	Dwg. No. C3.05	Issue B	



WSUD CATCHMENT AREAS

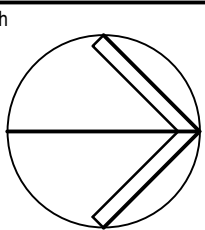
- 4500m² LANDSCAPE AREA TO WSUD CHAMBER
- 13,665m² ROOF AREA TO WSUD CHAMBER
- 11,910m² IMPERVIOUS AREA TO WSUD SYSTEM
- 875m² PERVIOUS AREA BYPASSING WSUD SYSTEM

NOTE:
THE PROPOSED SITE HAS NO UPSTREAM CATCHMENTS.
ALL WATER IS COLLECTED AND DIVERTED VIA EXISTING
INFRASTRUCTURE IN THE ROAD AND NEIGHBOURING PROPERTIES

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B	RE-ISSUE FOR DEVELOPMENT APPLICATION	25.08.20	DK	GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL
Issue	Description	Date	Drawn	Approved



Client
Palladium Property
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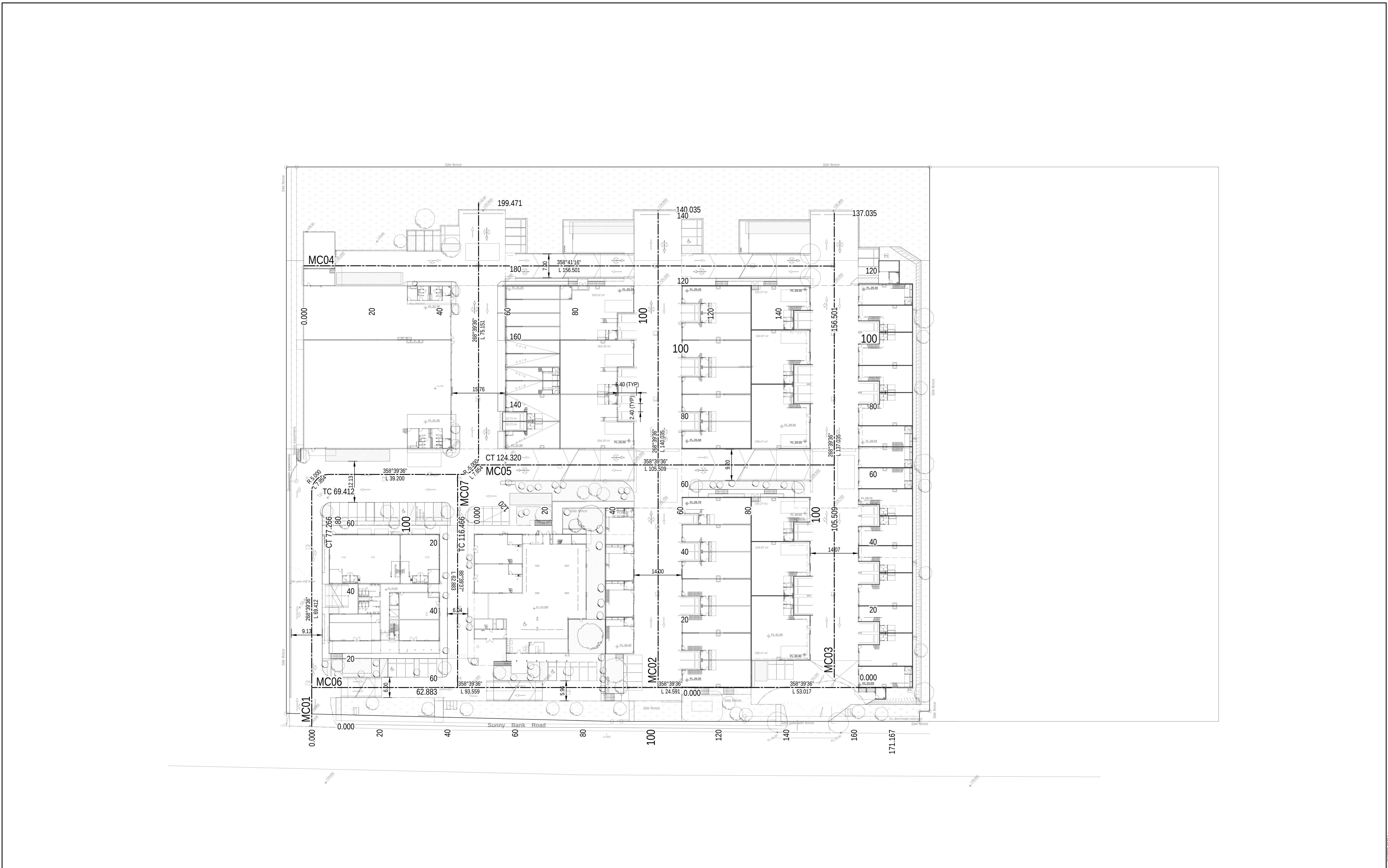
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PROPOSED MIXED INDUSTRIAL DEVELOPMENT
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title CATCHMENT PLAN					
Drawn DW	Date May-20	Scale 1:500	A1	Q.A. Check	Date
Designed WS	Project No. SY190329	Dwg. No.	C3.15	Issue B	

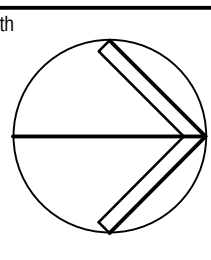
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Issue	Description	Date	Drawn	Approved	
1					



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Project

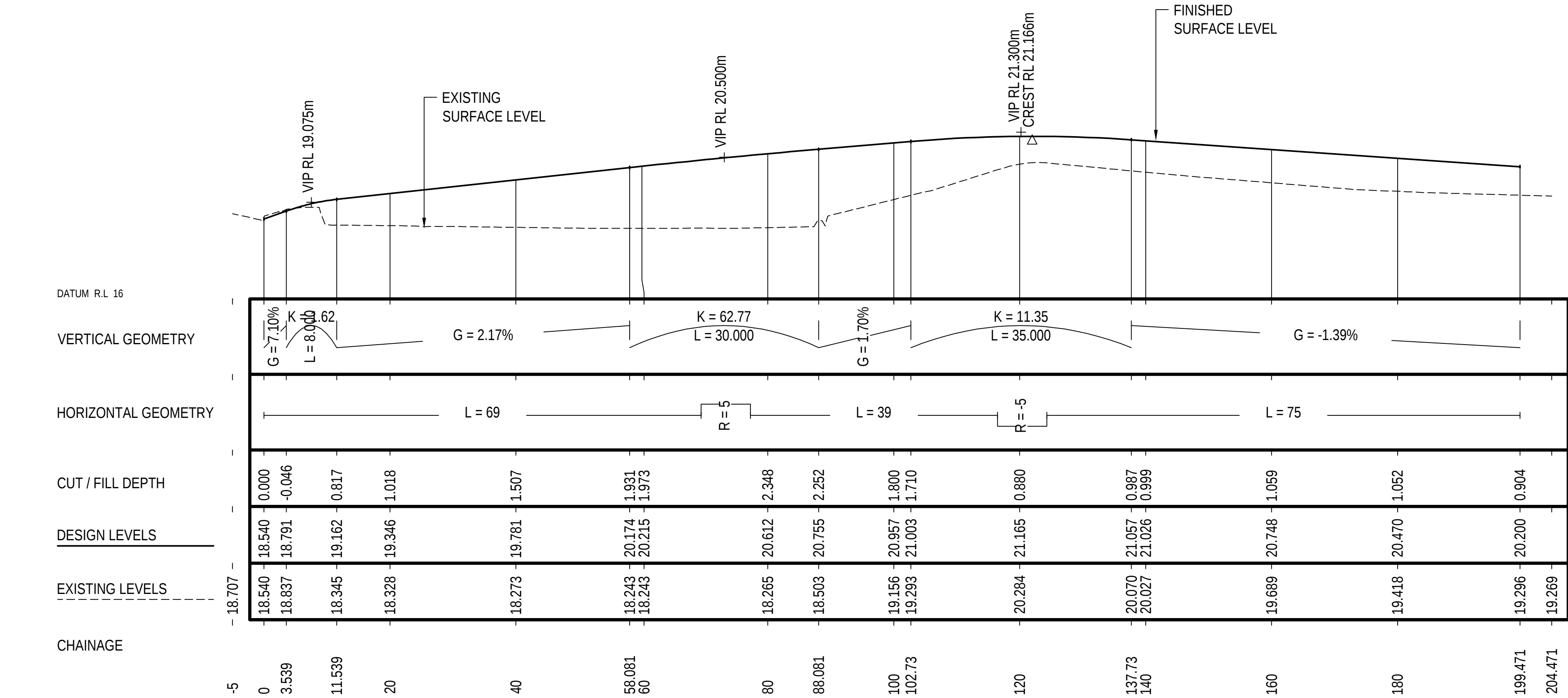
PROPOSED MIXED INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title DRIVEWAY SETOUT PLAN					
Drawn DW	Date May-20	Scale 1:500	A1	Q.A. Check	Date
Designed VG	Project No. SY190329	Dwg. No. C3.20		Issue A	

NOT FOR CONSTRUCTION

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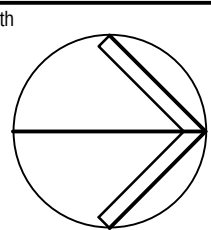
MC01

A1 Horizontal Scale 1 : 500
A1 Vertical scale 1 : 100

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Issue	Description	Date	Drawn	Approved	
1					



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Project

PROPOSED MIXED
INDUSTRIAL DEVELOPMENT

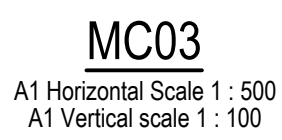
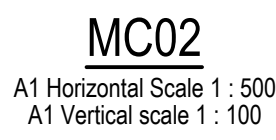
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title
DRIVEWAY LONGITUDINAL
SHEET 1

Drawn	Date	Scale	A1	Q.A. Check	Date
DW	May-20	AS SHOWN			
Designed	Project No.	Dwg. No.	Issue		
VG	SY190329	C3.21	A		

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Architect

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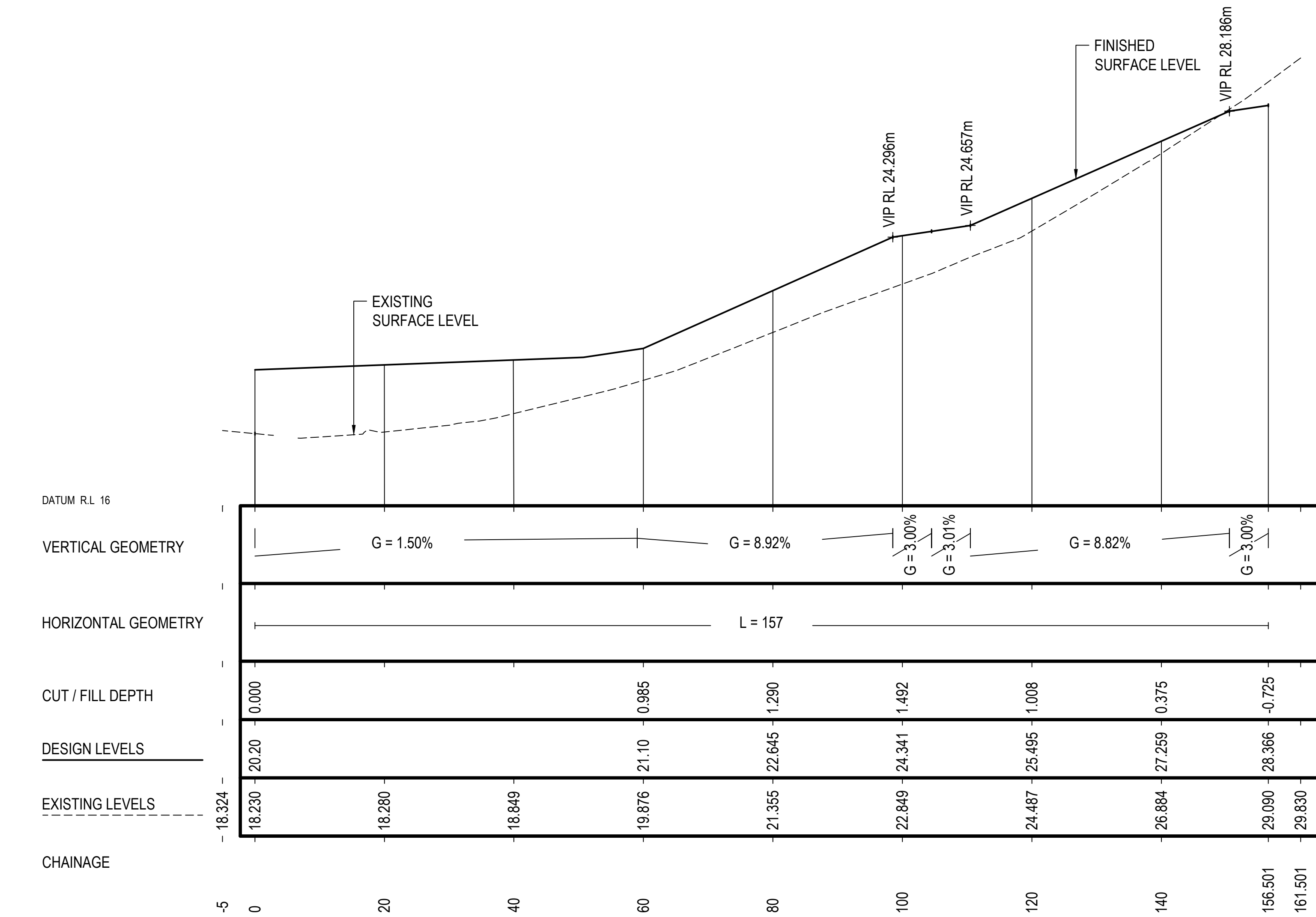
Project
**PROPOSED MIXED
INDUSTRIAL DEVELOPMENT**

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title				
DRIVEWAY LONGITUDINAL SHEET 2				
Drawn	Date	Scale	A1	Q.A. Check
DW	May-20	AS SHOWN		
Designed	Project No.		Dwg. No.	Issue
VG	SY190329		C3 22	R

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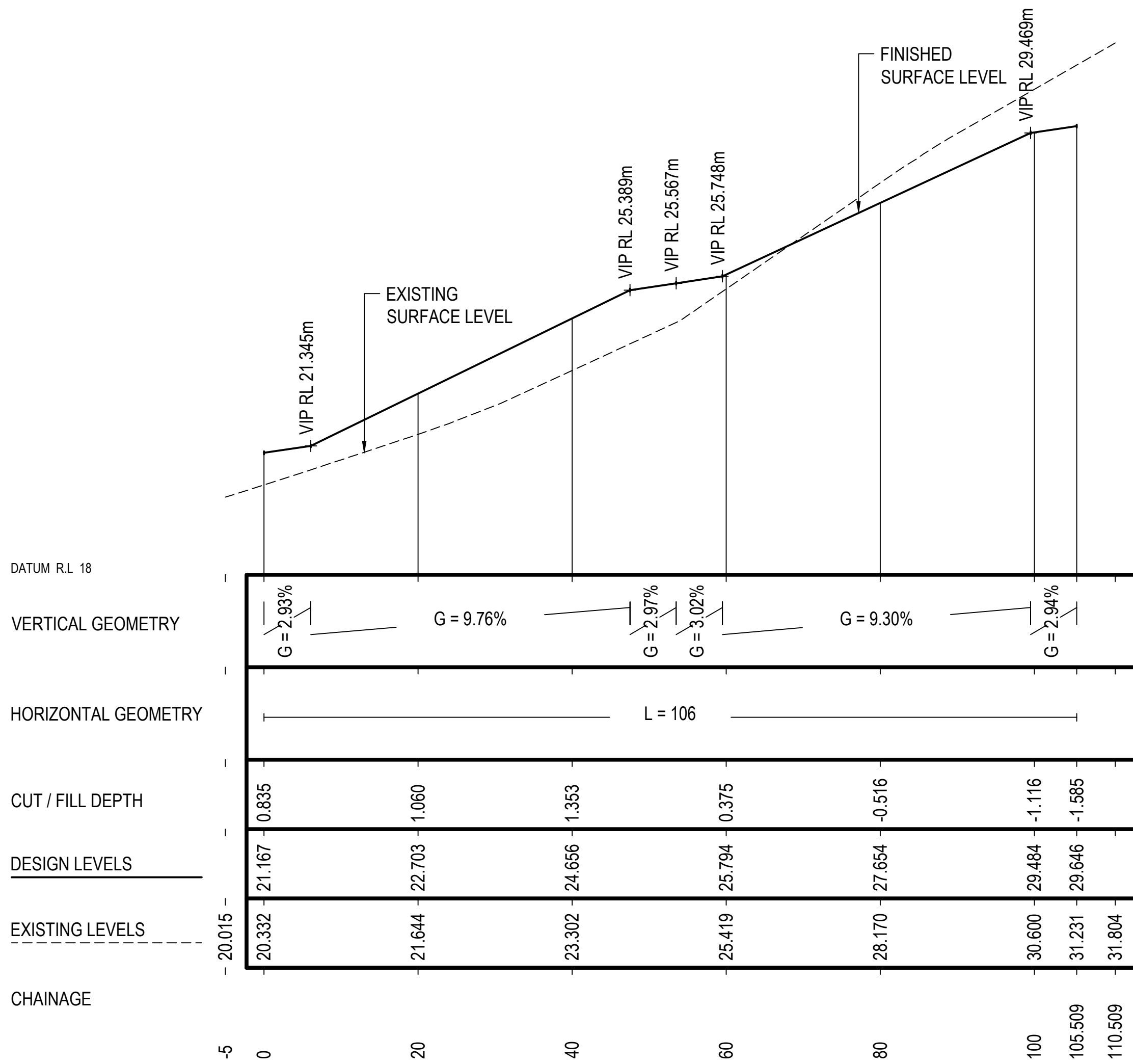
U101	2020 - 2-10cm		U192	1880	Rimnicet SV16/SV19/COP/Dawkins/CAN/Tomlinson/SY1919A CA 20 Jan
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MC04

A1 Horizontal Scale 1 : 500

A1 Vertical scale 1 : 100



MC05

A1 Horizontal Scale 1 : 500

A1 Vertical scale 1 : 100

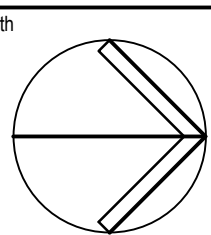
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A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL	
Issue	Description	Date	Drawn	Approved	
1					

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1cm at full size



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Project

PROPOSED MIXED
INDUSTRIAL DEVELOPMENT

27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title
DRIVEWAY LONGITUDINAL
SHEET 3

Drawn DW	Date May-20	Scale AS SHOWN	A1	Q.A. Check	Date
Designed VG	Project No. SY190329	Dwg. No. C3.23	Issue A		

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190329_03_23.dwg 23-May-2020 2:24pm

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

- E1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- E2. THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.
- E3. ALL BUILDERS AND SUB-CONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.
- E4. REFER TO BHI ARCHITECT DRAWING A.1002 FOR NATURE AND EXTENT OF CLEARING, EXCAVATION AND FILLING.
- E5. REFER TO ACOR DRAWINGS C3.01 - C3.05 FOR WATER SENSITIVE URBAN DESIGN PLANS. REFER TO ACOR DRAWING C1.08 FOR DETAILS.
- E6. REFER TO LANDSCAPE ARCHITECT PLANS FOR PROPOSED SITE REHABILITATION AND LANDSCAPING.

CONSTRUCTION SEQUENCE

- E4. THE SOIL EROSION POTENTIAL ON THIS SITE SHALL BE MINIMISED. HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE :
- a. INSTALL SEDIMENT FENCES, TEMPORARY CONSTRUCTION EXIT AND SANDBAG KERB INLET SEDIMENT TRAP.
- b. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

- E5. DURING WINDY CONDITIONS, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- E6. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

FENCING

- E7. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
- E8. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- E9. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- E10. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

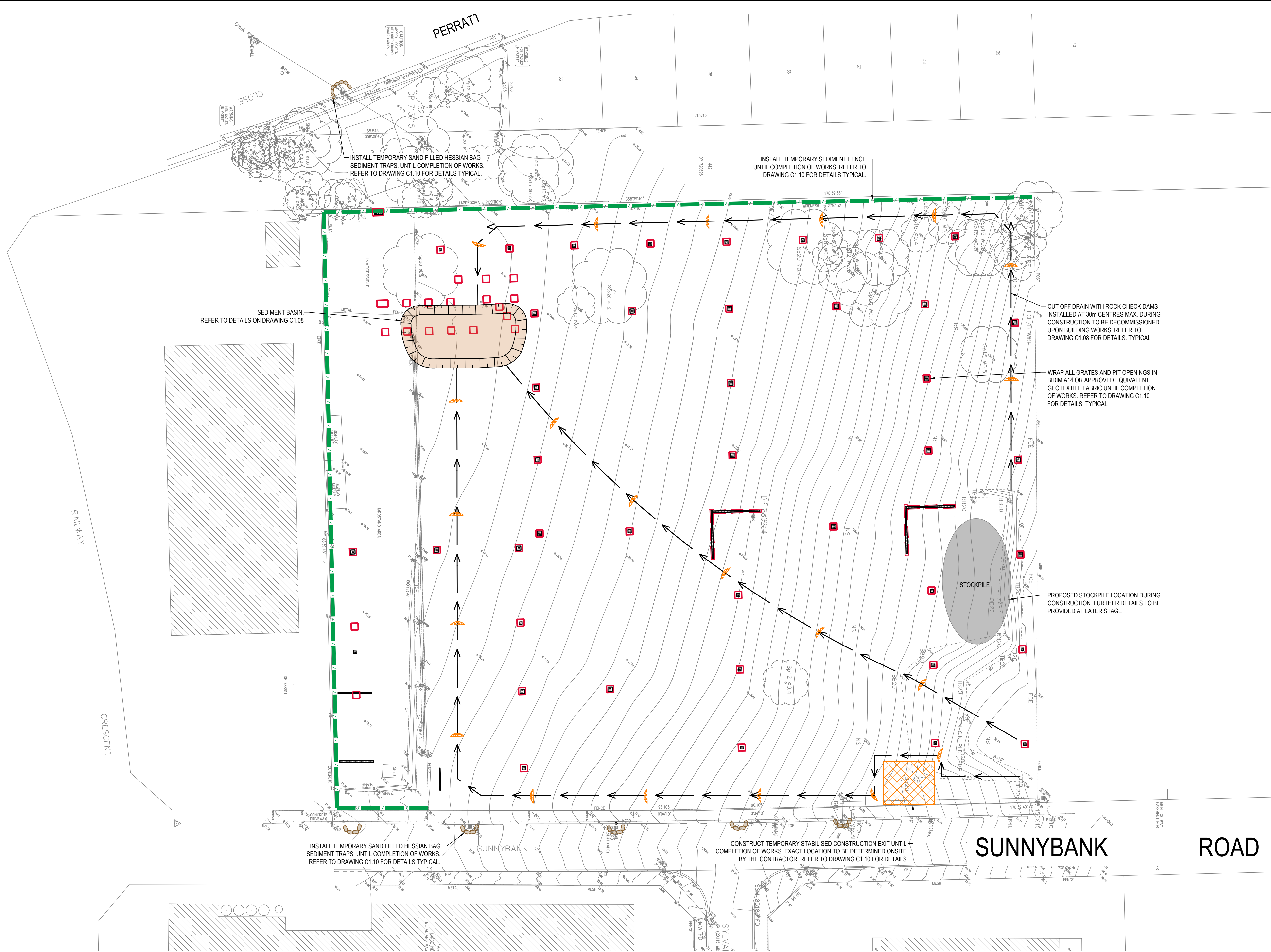
OTHER MATTERS

- E11. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- E12. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.

SITE INSPECTION & MAINTENANCE

- E13. AT LEAST WEEKLY AND AFTER EVERY RAIN FALL EVENT, THE CONTRACTOR WILL INSPECT THE SITE AND ENSURE THAT:
- a. DRAINS AND ALL SEDIMENT CONTROL DEVICES OPERATE EFFECTIVELY AND INITIATE REPAIR OR MAINTENANCE AS REQUIRED.
- b. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANOR APPROVED BY THE SUPERINTENDENT.
- c. SPILLED SAND (OR OTHER MATERIALS) IS REMOVED FROM HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS.
- d. SEDIMENT IS REMOVED FROM BASINS AND/OR TRAPS WHEN LESS THAN 20M³ OF TRAPPING CAPACITY REMAIN PER 1000M² OF DISTURBED LANDS, AND/OR LESS THAN 500MM DEPTH REMAINS IN THE SETTLING ZONE. ANY COLLECTED SEDIMENT WILL BE DISPOSED OF IN AREAS WHERE FURTHER POLLUTION TO DOWN SLOPE LANDS AND WATERWAYS ARE UNLIKELY.
- e. REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND INITIATE UPGRADING OR REQUIRE AS APPROPRIATE.

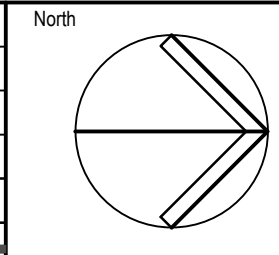
E14. THE CONTRACTOR SHALL PROVIDE ALL MONITORING CONTROL AND TESTING.



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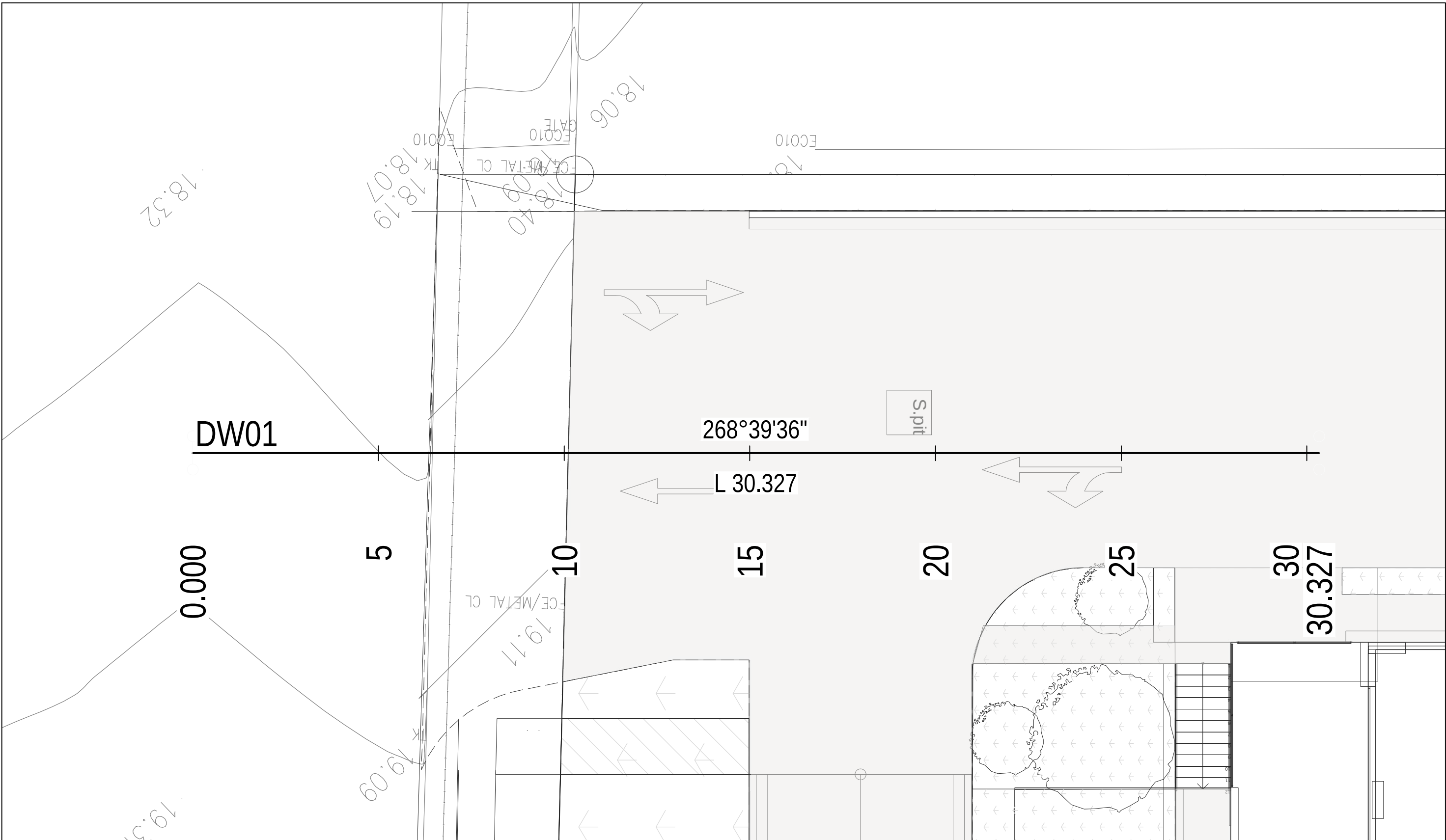
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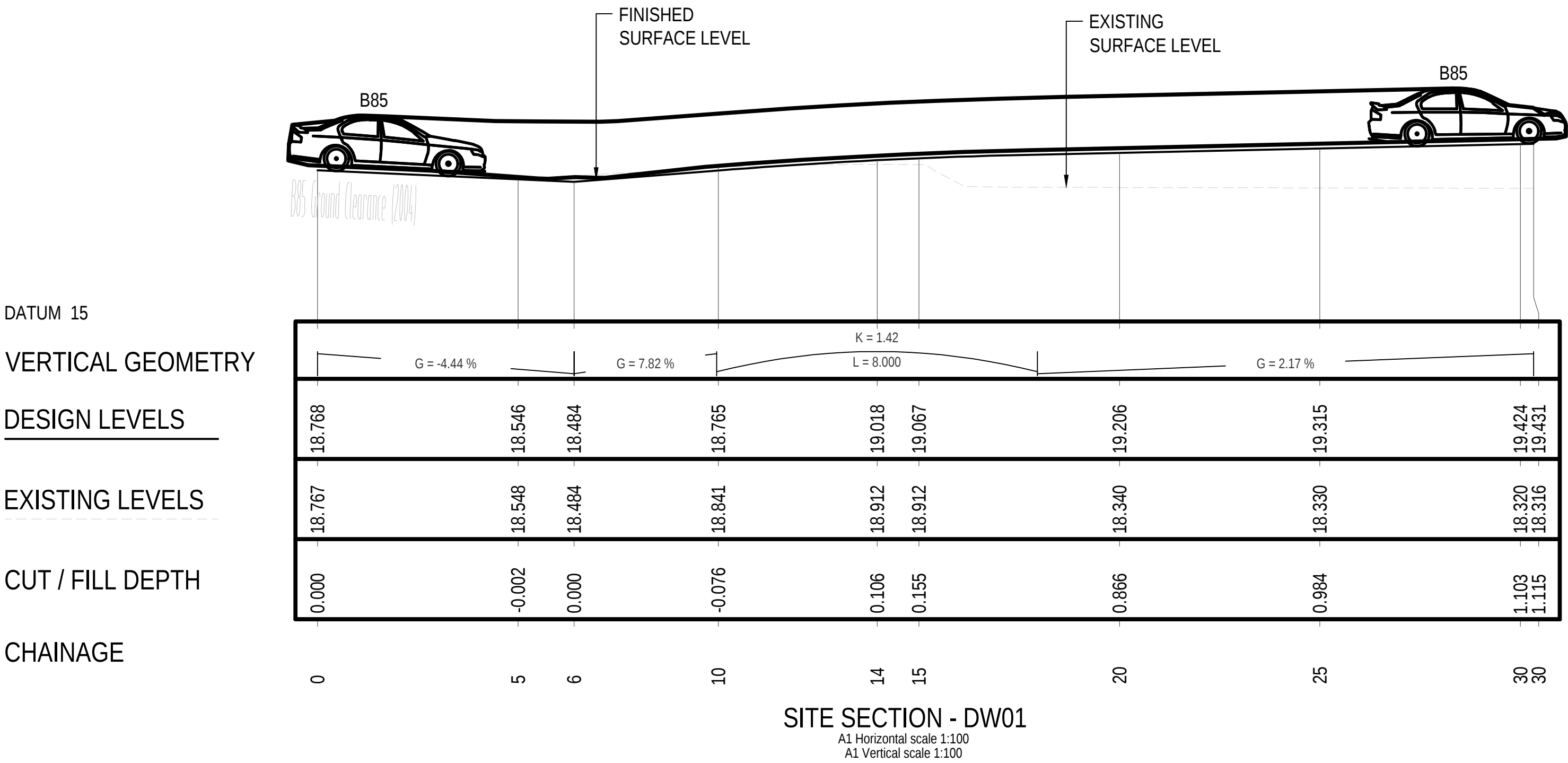
Project
PROPOSED MIXED INDUSTRIAL DEVELOPMENT
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title SOIL EROSION AND SEDIMENT CONTROL PLAN					
Drawn	Date	Scale	A1	Q.A. Check	Date
RP	May-20	1:500			
Designed	Project No.	Dwg. No.	Issue		
WS	SY190329	C5.01	B		

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DRIVEWAY - DW01
SCALE 1:100

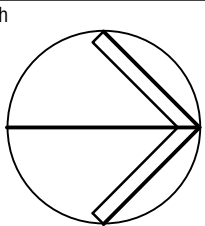


SITE SECTION - DW01
A1 Horizontal scale 1:100
A1 Vertical scale 1:100

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A		ISSUE FOR DEVELOPMENT APPLICATION		26.05.20	DW
				GL	
Issue	Description	Date	Drawn	Approved	
1					



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Palladium Property

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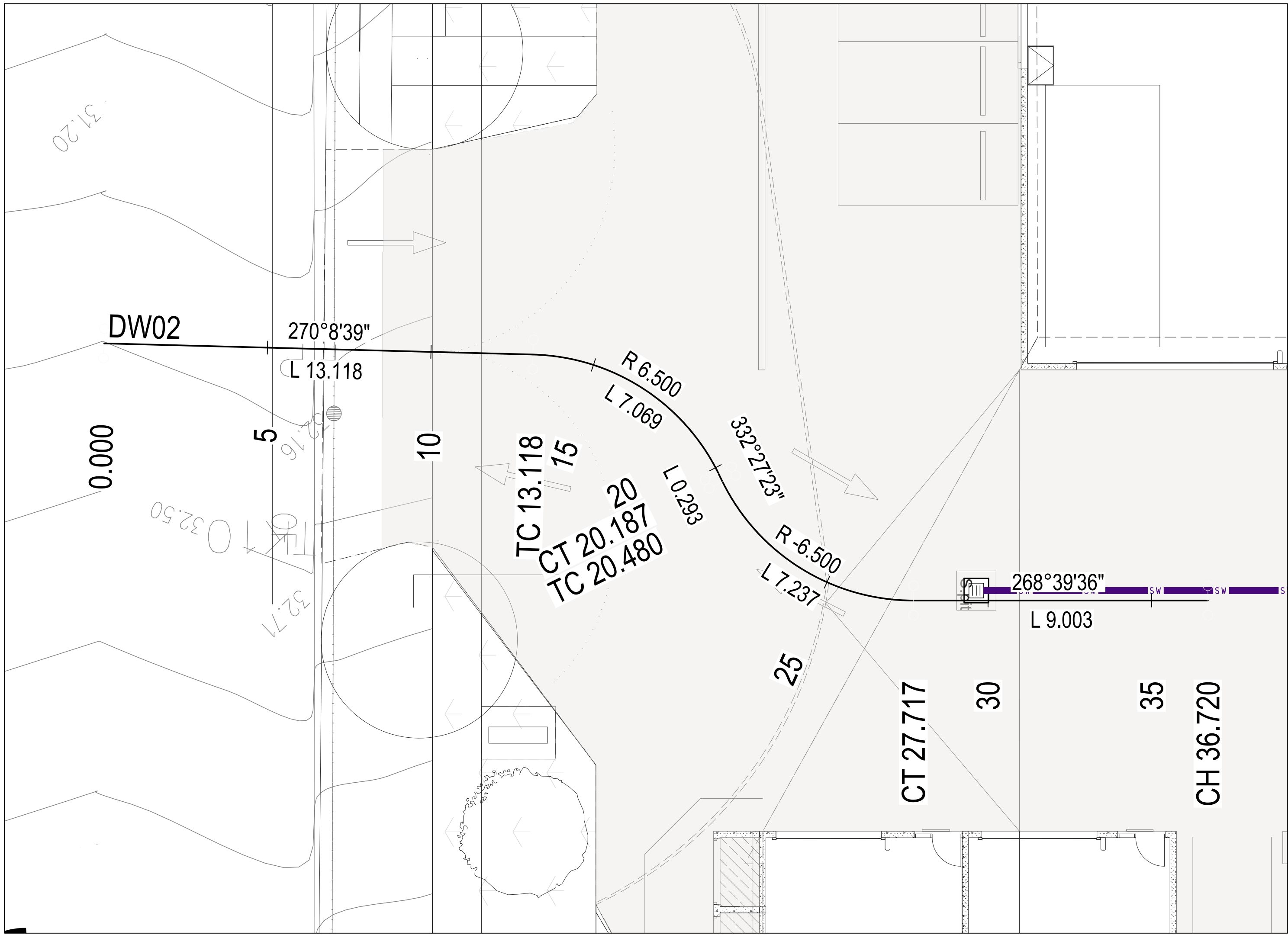
Project

PROPOSED MIXED INDUSTRIAL DEVELOPMENT

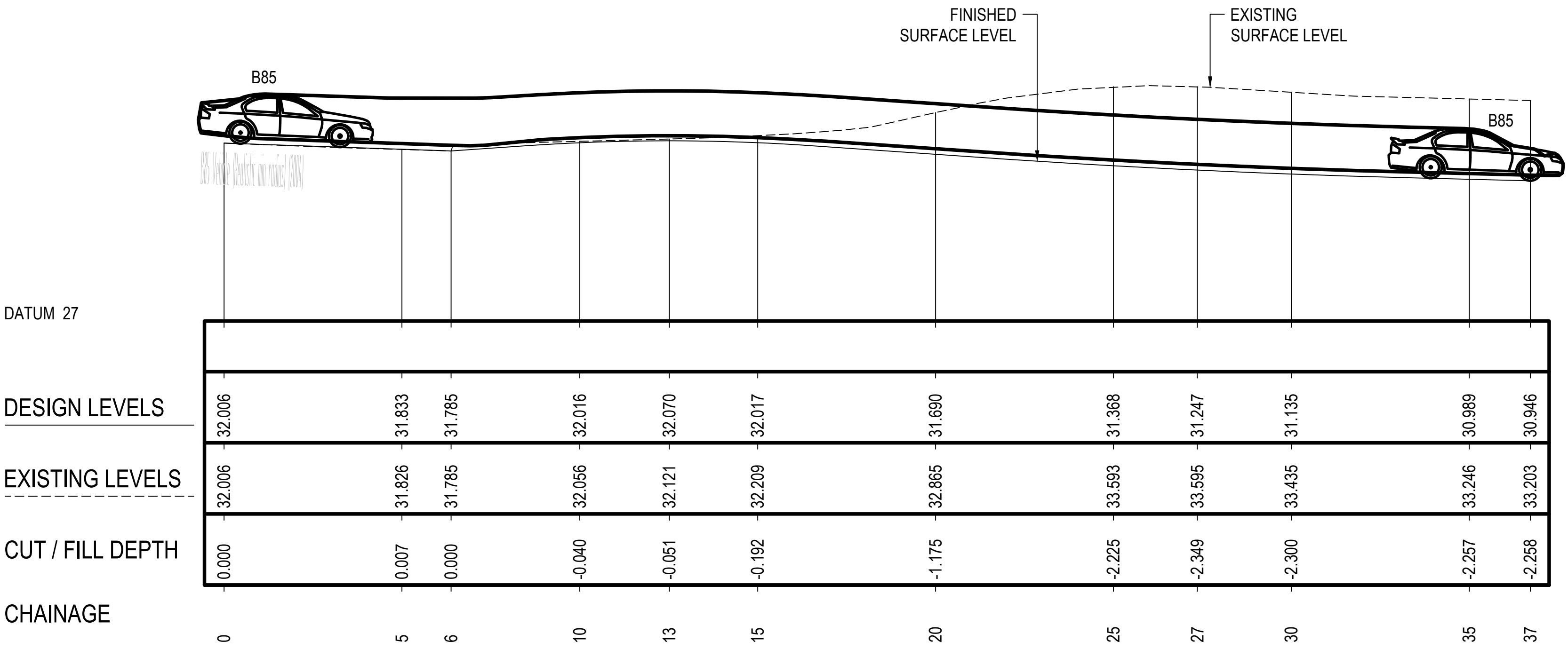
27 SUNNYBANK ROAD
LISAROW, NSW 2250

Drawing Title VEHICLE TRACKING ACCESS DRIVEWAY 01					
Drawn DW	Date May-20	Scale AS SHOWN	A1	Q.A. Check	Date
Designed VG	Project No. SY190329	Dwg. No. C7.01	Issue A		

NOT FOR CONSTRUCTION



DRIVEWAY - DW02
SCALE 1:100

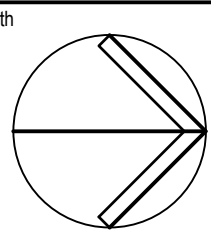


SITE SECTION - DW02
A1 Horizontal scale 1:100
A1 Vertical scale 1:100

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B	RE-ISSUE FOR DEVELOPMENT APPLICATION	29.06.20	ROB	GL
A	ISSUE FOR DEVELOPMENT APPLICATION	26.05.20	DW	GL
Issue	Description	Date	Drawn	Approved



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PROPOSED MIXED INDUSTRIAL DEVELOPMENT
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LISAROW, NSW 2250

Drawing Title
VEHICLE TRACKING ACCESS DRIVEWAY 02

Drawn	Date	Scale	A1	Q.A. Check	Date
DW	May-20	AS SHOWN			
Designed	Project No.	Dwg. No.	Issue		
VG	SY190329	C7.02	B		

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